



## AVIS GÉNÉRAL

Les documents faisant partie de l'ordre du jour ci-joint, ont force de la loi, que s'ils ont été entérinés par le Conseil municipal.

Prière de vérifier auprès de l'administration si des modifications et/ou des retraits de sujets ont été effectués.

### **DIFFUSION EN DIRECT SUR YOUTUBE**

Nous encourageons les membres du public de visionner les délibérations du conseil en direct sur la chaîne YouTube de La Nation du confort de leur maison.

Vous pouvez visiter la [chaîne YouTube de La Nation](#) pour visionner les réunions.

En raison de l'espace limité, une inscription pour réserver une place est fortement recommandé afin d'assister à une réunion en présentiel. Si vous voulez réserver un siège, veuillez communiquer avec la Greffière adjointe au 613-764-5444, poste 228 ou par courriel à [aroy@nationmun.ca](mailto:aroy@nationmun.ca).

### **QUESTIONS ET COMMENTAIRES**

Si vous avez des questions ou commentaires portant sur l'un des sujets à l'ordre du jour, veuillez communiquer avec la Greffière au 613-764-5444 poste 235 ou par courriel à [jbrizard@nationmun.ca](mailto:jbrizard@nationmun.ca)



## Corporation de la municipalité de La Nation Ordre du jour

### Information de la réunion

**Numéro de réunion :** 2022-19

**Type :** Ordinaire

**Date :** 29 août 2022

**Heure :** 16h00

**Endroit :** Hôtel de ville, 958 route 500 ouest, Casselman

**Président :** François St-Amour, Maire

**Préparé par :** Aimée Roy, Greffière adjointe

**Vidéo :** la réunion du Conseil sera diffusée en direct sur [YouTube](#)

### Sujets à l'horaire précis :

**16h00 :** Huis clos

**17h30 :** Réunion de zonage

**18h00 :** Présentation des architectes sur les casernes de pompiers

### Ordre du jour

**1. Ouverture de l'assemblée**

**2. Modifications et additions à l'ordre du jour**

**3. Adoption de l'ordre du jour**

**4. Déclaration de conflit d'intérêt**

**5. Adoption des procès-verbaux des réunions précédentes**

5.1 Procès-verbaux de la réunion ordinaire du Conseil tenue le 8 août 2022

**6. Adoption des recommandations des comités du conseil municipal**

**7. Réception des rapports mensuels des membres de l'administration**

7.1 Nadia Knebel, Trésorière

7.1.1 Rapport F-20-2022

Règlement sur les redevances d'eau et d'égout

7.1.2 Taxes foncières à radier, Section 354 de la Loi sur les municipalités

7.2 Guylain Laflèche, Directeur de l'urbanisme

7.2.1 Rapport BLD-08-2022

Remboursement des dépôts de permis de construction

7.3 Josée Brizard, Directrice générale - Greffière

7.3.1 Commissaire à l'intégrité – Renouvellement de mandat

## **7.4 Leroux Consultant, Superintendant du drainage**

### **7.4.1 Rapport 2022-0704**

Rapport mensuel du surintendant du drainage pour le mois de juillet 2022

## **7.5 Richard J. Groulx, Chef pompier**

### **7.5.1 Rapport HS-01-2022**

Levée des mesures d'urgence COVID-19

### **7.5.2 Présentation des architectes sur les casernes de pompiers (18h00)**

## **8. Avis de motions proposées**

8.1 Ville de South Bruce Peninsula, Pénurie de médecins en Ontario

## **9. Affaires découlant des réunions précédentes**

## **10. Délégations**

## **11. Demandes au comité de division de terrains de Prescott-Russell**

## **12. Règlements municipaux**

### **12.1 Règlement no 98-2022**

Pour abroger le règlement 95-2022 et confirmer les procédures

### **12.2 Règlement no 103-2022**

Règlement de zonage

### **12.3 Règlement no 105-2022**

Partie de lot, Rue Christian

### **12.4 Règlement no 106-2022**

Pour modifier le règlement 122-2015

Collecte des redevances pour les coûts liés à l'extension des services de distribution d'eau et d'égouts sanitaires – Limoges

### **12.5 Règlement no 107-2022**

Pour modifier les règlements 91-2010, 35-2011, 84-2012, 102-2016, 103-2019, 85-2021, 10-2022, 11-2022 et 12-2022

Services d'eau et des égouts

### **12.6 Règlement no 108-2022**

Bloc 10 50M363

21-23-25-27, rue Christian

## **13. Approbation du rapport de variance et comptes fournisseurs**

13.1 Comptes payables

## **14. Autres**

14.1 Demande de don

Centre Novas

## **15. Rapports mensuels divers**

15.1 BSEO

Avis de flambée

## **16. Correspondance**

16.1 AMO, Infolettres

16.2 AMO, Rapport annuel 2021

16.3 AMCTO, Lettre de réponse au Projet de loi 3, Loi de 2022 pour des maires forts et pour la construction de logements

**16.4** Comité organisateur de la JIF Prescott-Russell, Participation à la Journée internationale de la Fille 2022

**16.5** Environnement et Changement climatique Canada, Registre public des espèces en péril

**16.6** Service incendie d'Hawkesbury, Lettre de remerciement

**16.7** Leadership féminin Prescott-Russell, Infolettres

**16.8** Ville de South Bruce Peninsula, Certification obligatoire de pompier

**16.9** Ville de Wasaga Beach, Projet de loi 3, Loi de 2022 pour des maires forts et pour la construction de logements

## **17. Événements à venir**

**17.1** Réunion de conseil ordinaire, 12 septembre 2022

**17.2** Tournoi de Golf annuel des Amis de la CNS, 9 septembre 2022

## **18. Huis clos**

**18.1** Doug Renaud, Directeur de l'eau et eaux usées

### **18.1.1** Négociation avec une entreprise

Section 239 (2) (k) une position, un projet, une ligne de conduite, une norme ou une instruction devant être observé par la municipalité ou le conseil local, ou pour son compte, dans le cadre d'une négociation actuelle ou éventuelle

**18.2** Richard J. Groulx, Chef pompier

### **18.2.1** Négociation avec une corporation

Section 239 (2) (k) une position, un projet, une ligne de conduite, une norme ou une instruction devant être observé par la municipalité ou le conseil local, ou pour son compte, dans le cadre d'une négociation actuelle ou éventuelle

## **19. Règlement pour confirmer les procédures du Conseil**

## **20. Ajournement**

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**LA CORPORATION DE LA MUNICIPALITÉ DE LA NATION**

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**AGENDA  
PUBLIC MEETING  
PLANNING COMMITTEE  
MONDAY, August 29<sup>th</sup>, 2022  
5:30 PM**

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1. Opening of the public meeting
  2. Presentation of the proposed amendment
    - 2.1 1747 Route 500 West, file ZBL-12-2022 (By-law 103-2022)
    - 2.2 106 Dolores, file ZBL-13-2022 (By-law 104 – 2022)
  3. Comments
  4. Adjournment
- 

**ORDRE DU JOUR  
RÉUNION PUBLIQUE  
COMITÉ DE PLANIFICATION  
LUNDI, LE 29 AOÛT 2022  
17H30**

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- 1 Ouverture de l'assemblée publique
2. Présentation des modifications
  - 2.1 1747 Route 500 ouest, filière ZBL-12-2022 (règlement 103-2022)
  - 2.2 106 Dolores, filière ZBL-13-2022 (règlement 104– 2022)
3. Commentaires
4. Fermeture



**CORPORATION DE LA MUNICIPALITÉ DE LA NATION  
CORPORATION OF THE NATION MUNICIPALITY**

Type: \_\_\_\_\_

Date: \_\_\_\_\_

Résolution No.: \_\_\_\_\_

Proposée par/Moved by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Brière

Appuyée par/Seconded by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Brière

**OUVERTURE DE L'ASSEMBLÉE PUBLIQUE - FILIÈRES ZBL-12-2022 & ZBL-13-2022**

Qu'il soit résolu que la présente assemblée publique convoquée selon l'article 34 de la Loi sur l'aménagement du territoire (1990) soit ouverte à 17h30.

**OPENING OF THE PUBLIC MEETING – FILES ZBL-12-2022 & ZBL-13-2022**

Be it resolved that the public meeting convened under Section 34 of the Planning Act (1990) be opened at 5:30 p.m.

Recorded Vote/Vote Enregistré

	<u>Yea</u>	<u>Nay</u>
Francois St. Amour	<input type="checkbox"/>	<input type="checkbox"/>
Marie-Noëlle Lanthier	<input type="checkbox"/>	<input type="checkbox"/>
Alain Mainville	<input type="checkbox"/>	<input type="checkbox"/>
Danik Forgues	<input type="checkbox"/>	<input type="checkbox"/>
Francis Briere	<input type="checkbox"/>	<input type="checkbox"/>

Cette resolution est:

This resolution is:

Adoptée/Carried

Rejetée/Defeated:

Modifiée/Amended:

**DÉCLARATION D'INTÉRÊT / DISCLOSURE OF INTEREST**

Nom / Name: \_\_\_\_\_, \_\_\_\_\_ a (ont) déclaré ses (leur) intérêts,  laissé son (leur) siège(s) et  quitté la salle du Conseil./Disclosed his (her, their) interest,  vacated his (her, their) seat(s) and  left Council chambers.

\_\_\_\_\_  
Greffière  
Clerk



**Rapport pour le Conseil**

**Numéro du rapport: ZBL-12-2022**

**Sujet :            Rapport pour la réunion publique pour la modification au règlement de zonage pour le 1747 Route 500 Ouest**

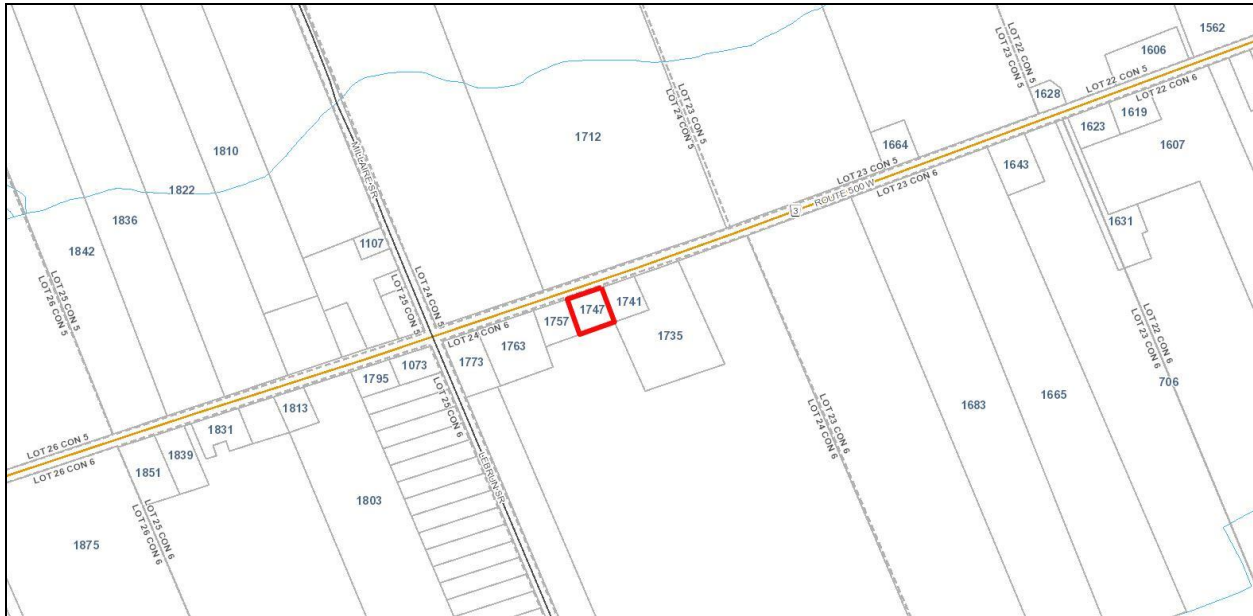
**Préparé par : Guylain Lafleche, Directeur de l'aménagement du territoire**

**Révisé par :**

**Date de la réunion : 29 août 2022**

## INTRODUCTION:

M. Marc-Antoine Poirier a soumis une demande de modification au règlement de zonage 2-2006, filière ZBL-12-2022, relativement à la propriété localisée au 1747 route 500 ouest afin de permettre un atelier de réparation de petits moteurs et véhicules récréatifs comme une occupation domestique non-résidentielle. Il demande le droit à trois véhicules maximums en tout temps afin de respecter le concept que cet atelier est de petite envergure.



## DÉCLARATION DE PRINCIPES PROVINCIALE

Sous la section 1.1.5, la DPP nous cite que pour maintenir des collectivités saines et sûres, il faut :

1.1.5.2 Dans les terres rurales situées dans des municipalités, les utilisations permises sont:

- a) la gestion ou l'utilisation des ressources;
- b) les utilisations récréatives liées aux ressources (y compris les résidences secondaires de loisir);
- c) un aménagement résidentiel, comprenant la création de lots, qui est approprié sur le plan local;
- d) les utilisations agricoles, les utilisations liées à l'agriculture, les utilisations diversifiées à la ferme et les pratiques agricoles normales conformes aux normes provinciales;
- e) les emplois à domicile et les industries à domicile;
- f) les cimetières;
- g) d'autres utilisations des terres rurales.

La demande de modification au règlement rencontre la DPP.

## PLAN OFFICIEL:

La parcelle de propriété est inscrite sous l'affectation "Secteur des politiques agricoles" à l'annexe A au Plan Officiel des Comtés Unis de Prescott et Russell.

La politique 7.5.5 encourage les occupations domestiques en autant qu'elles respectent le caractère environnant, qu'elle est de petite envergure et secondaire à une résidence et que le règlement de zonage établi des dispositions à cet égard.

Le SAT peut confirmer que la modification au règlement de zonage rencontre les intentions du plan officiel.

**RÈGLEMENT DE ZONAGE:**

La parcelle de propriété en question est zonée "Agriculture" (A).

La demande de modification a pour but de modifier la catégorie de zonage de la parcelle à "Agriculture - exception (A-X78)", en permettant un atelier de réparation de petits moteurs et de véhicules récréatifs jusqu'à un maximum de trois véhicules à la fois.

**RECOMMANDATION DU SAT :**

Le propriétaire a déjà consulté ces voisins et ils ne soulèvent aucune objection à la modification.

Le SAT recommande l'adoption du règlement 103-2022. (Annexe 1)

Guylain Lafèche, MCIP, RPP  
Urbaniste Municipal

CORPORATION OF THE NATION MUNICIPALITY

BY-LAW NO. 103-2022

BEING A BY-LAW TO AMEND THE COMPREHENSIVE ZONING BY-LAW 2-2006, AS AMENDED;

WHEREAS By-Law 2-2006, the Comprehensive Zoning By-Law, regulates the use and erection of buildings and structures in The Nation Municipality;

WHEREAS an application has been received to change the zoning of a certain parcel of land in The Nation Municipality;

AND WHEREAS the Council of the Corporation of The Nation Municipality considers it appropriate to amend the Zoning By-Law 2-2006, as described;

NOW THEREFORE, the Council of the Corporation of The Nation Municipality enacts as follows:

Section 1: The parcel of property located on part of Lot 24, Concession 6 in the former Township of Cambridge, now in The Nation Municipality, County of Russell, shown on Schedule "A", attached to and forming part of this By-Law, shall be the parcel of property affected by this By-Law.

Section 2: Schedule "A" of Zoning By-Law 2-2006 is hereby amended by changing from "Agricultural (A)" to "Agricultural – Exception (A-X78)" and the symbol of the parcel of land indicated on the attached Schedule "A" hereto made fully part of this by-law.

Section 3: Subsection 5.16.4 of Zoning By-Law 2-2006 entitled AExceptions@, is hereby amended by adding the following new paragraph:

5.16.4.78 Agricultural Zone Exception (A-X78),

Part of Lot 24, Conc. 6 in the former Township of Cambridge. (1747 Route 500 West)

Notwithstanding the provisions of Sections 3.154.2, on the land zoned "A-X78", a small motors and recreational vehicles, weighing less than 1600 lbs, repair shop shall be considered as a Non-Residential Zone home occupation, and no more than 3 vehicles at a time shall be permitted.

Section 4: All other provisions of By-Law 2-2006 shall continue to apply.

Section 5: Subject to the giving of notice of passing of this By-Law, in accordance with Section 34(18) of the Planning Act, R.S.O. 1990 as amended, this By-Law shall come into force on the date of passing by the Council of the Corporation of The Nation Municipality where no notice of appeal or objection is received, pursuant to Section 34(21) of the Planning Act, R.S.O. 1990 as amended.

READ FIRST AND SECOND TIME
READ A THIRD TIME AND PASSED

this 29th day of August 2022
this 29th day of August 2022

François St. Amour
Mayor

Josée Brizard
Clerk



**Rapport pour le Conseil**

**Numéro du rapport: ZBL-13-2022**

**Sujet :            Rapport pour la réunion publique pour la modification au règlement de zonage pour le 106 rue Dolores**

**Préparé par : Guylain Lafleche, Directeur de l'aménagement du territoire**

**Révisé par :**

**Date de la réunion : 29 août 2022**

## INTRODUCTION:

M. Laroche a soumis une demande de modification au règlement de zonage 2-2006, filière ZBL-13-2022, relativement à la parcelle de propriété décrite comme le 106 rue Dolores. Cette demande a pour but de permettre la construction d'une maison de type jumelé. Cette modification est l'une des conditions d'approbation du dossier de morcellement B-13-2022.



## DÉCLARATION DE PRINCIPES PROVINCIALE

Sous la section 1.1.1, la DPP nous cite que pour maintenir des collectivités saines et sûres, il faut :

- a) encourager des formes efficaces d'aménagement et d'utilisation du sol qui soutiennent à long terme la vitalité financière de la province et des municipalités;
- b) permettre un éventail et une diversité appropriés d'utilisations à des fins résidentielles (p. ex., deuxièmes unités d'habitation, logements abordables, logements pour personnes âgées), d'emploi (notamment industriels et commerciaux), institutionnelles (p. ex., lieux de culte, cimetières, foyers de soins de longue durée), de loisirs, d'espaces verts et de plein air et autres pour répondre aux besoins à long terme;.....
- e) encourager des formes et des normes d'aménagement rentables qui réduisent au minimum l'utilisation des terres et les coûts de viabilisation;

Sous la section 1.1.3, la DPP nous encourage à développer une mixité d'usage résidentiel dans les centres urbains. La DPP encourage les municipalités au redéveloppement des zones de peuplement en densifiant les terrains existant à l'intérieur des villages. Cette densification devrait maximiser les infrastructures existantes.

Sous la section 1.4.3, la DPP nous demande de fournir une diversité et un éventail appropriés de types de logement et de densités afin de répondre aux besoins des résidents actuels et futurs de la *zone de marché régionale* de la façon suivante :

- a) en établissant et en mettant en œuvre des objectifs minimaux pour la fourniture de logements *abordables aux ménages à revenu faible et modéré*....

- b) en permettant et en facilitant:
  - a. toutes les formes de logement nécessaires pour répondre aux besoins sur le plan social et en matière de santé et de bien-être, y compris aux *besoins particuliers*, des résidents actuels et futurs;
  - b. toutes les formes de *densification résidentielle*, y compris les deuxièmes unités d'habitation, et de *réaménagement* en conformité avec la politique 1.1.3.3;
- c) en orientant l'aménagement de nouveaux logements vers les endroits où des niveaux appropriés d'infrastructure et d'installations de services publics sont ou seront disponibles pour répondre aux besoins actuels et futurs;
- d) en encourageant, pour les nouveaux logements, des densités qui utilisent efficacement les terres, les ressources, *l'infrastructure* et les *installations de services publics*, et qui appuient l'utilisation du transport actif et du transport en commun dans les zones où ils sont offerts ou doivent être implantés;
- e) en établissant des normes d'aménagement pour la *densification résidentielle*, le *réaménagement* et les nouveaux aménagements résidentiels qui permettent de réduire au minimum le coût du logement et de faciliter l'aménagement compact, tout en maintenant des niveaux appropriés de santé et de sécurité publiques.

Sous la section 1.6.6.1, la DPP nous encourage d'orienter la croissance ou l'aménagement prévu(e) et y répondre d'une façon qui favorise l'utilisation efficace et l'optimisation des *services d'égout municipaux* et des *services d'approvisionnement en eau municipaux* existants.

Aussi, la section 1.6.6.2, la DPP nous cite que les *services d'égout municipaux* et les *services d'approvisionnement en eau municipaux* constituent la méthode privilégiée pour viabiliser les *zones de peuplement*. Dans la mesure du possible, il faut encourager dans les *zones de peuplement* la *densification* et le *réaménagement* basés sur les *services d'égout municipaux* et les *services d'approvisionnement en eau municipaux* existants.

La demande de modification au règlement rencontre la DPP.

#### **PLAN OFFICIEL:**

La parcelle de propriété est inscrite sous l'affectation "Secteur des politiques urbaines" à l'annexe A au Plan Officiel des Comtés Unis de Prescott et Russell.

Les politiques 2.2.6 & 2.2.7 sur le développement résidentiel, encourage une mixité des usages résidentiels et commerciaux à l'intérieur des zones urbaines et de densifier même les zones centrales de nos zones urbaines.

Le SAT peut confirmer que la modification au règlement de zonage rencontre les intentions du plan officiel.

#### **RÈGLEMENT DE ZONAGE:**

La parcelle de propriété est zonée "Résidentielle faible densité (R1)" au règlement de zonage 2-2006. Une maison de type jumelé n'est pas permise sous cette catégorie de zonage.

Le demandeur aimerait modifier la catégorie de zonage à résidentielle moyenne – Exception (R2-X34). Cette catégorie de zonage permettrait une maison jumelée, ayant une façade de 8.8 mètres de façade par unité au lieu de 10 mètres.

Suivant un nouveau plan, la façade minimum devrait être de 8.2 mètres.

**RECOMMANDATION DU SAT :**

Le SAT aimerait recevoir les commentaires avant de rendre sa recommandation. En anexe 1 nous avons une ébauche du règlement

Guylain Lafèche, MCIP, RPP  
Urbaniste Municipal

## CORPORATION OF THE NATION MUNICIPALITY

## BY-LAW NO. 104-2022

**BEING A BY-LAW TO AMEND THE COMPREHENSIVE ZONING BY-LAW 2-2006, AS AMENDED;**

**WHEREAS** By-Law 2-2006, the Comprehensive Zoning By-Law, regulates the use and erection of buildings and structures in The Nation Municipality;

**WHEREAS** an application has been received to change the zoning of a certain parcel of land in The Nation Municipality;

**AND WHEREAS** the Council of the Corporation of The Nation Municipality considers it appropriate to amend the Zoning By-Law 2-2006, as described;

**NOW THEREFORE**, the Council of the Corporation of The Nation Municipality enacts as follows:

**Section 1:** The parcel of property located on part of Lot 30, Concession 2 in the former Township of Cambridge, now in The Nation Municipality, County of Russell, shown on Schedule "A", attached to and forming part of this By-Law, shall be the parcel of property affected by this By-Law.

**Section 2:** Schedule "A" of Zoning By-Law 2-2006 is hereby amended by changing from "Low Density Residential (R1)" to "Medium Density Residential – Exception (R2-X34)" the symbol of the parcel of land indicated on the attached Schedule "A" hereto made fully part of this by-law.

**Section 3:** Subsection 5.4.4 of Zoning By-Law 2-2006 entitled "Exception Zones", is hereby amended by adding the following new paragraphs:

5.4.4.34 R2-X34, 106 Dolores Street

Notwithstanding Section 5.4.4. "Medium Density Residential Zone " of Zoning By-Law 2-2006, hereof to the contrary, on the land zoned R2-X34, the following provision shall apply;

-Minimum Lot Frontage: 8.2 metres per unit

**Section 4:** All other provisions of By-Law 2-2006 shall continue to apply.

**Section 5:** Subject to the giving of notice of passing of this By-Law, in accordance with Section 34(18) of the Planning Act, R.S.O. 1990 as amended, this By-Law shall come into force on the date of passing by the Council of the Corporation of The Nation Municipality where no notice of appeal or objection is received, pursuant to Section 34(21) of the Planning Act, R.S.O. 1990 as amended



**CORPORATION DE LA MUNICIPALITÉ DE LA NATION  
CORPORATION OF THE NATION MUNICIPALITY**

Type: \_\_\_\_\_

Date: \_\_\_\_\_

Résolution No.: \_\_\_\_\_

Proposée par/Moved by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Brière

Appuyée par/Seconded by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Brière

**FERMETURE DE L'ASSEMBLÉE PUBLIQUE – FILIÈRES ZBL-12-2022 & ZBL-13-2022**

Qu'il soit résolu que la présente assemblée publique convoquée selon l'article 34 de la Loi sur l'aménagement du territoire (1990) soit ajournée à \_\_\_\_\_ heures.

**ADJOURNMENT OF THE PUBLIC MEETING – FILES ZBL-12-2022 & ZBL-13-2022**

Be it resolved that the public meeting convened under Section 34 of the Planning Act (1990) be adjourned at \_\_\_\_\_ p.m.

Recorded Vote/Vote Enregistré

	<u>Yea</u>	<u>Nay</u>
Francois St. Amour	<input type="checkbox"/>	<input type="checkbox"/>
Marie-Noëlle Lanthier	<input type="checkbox"/>	<input type="checkbox"/>
Alain Mainville	<input type="checkbox"/>	<input type="checkbox"/>
Danik Forgues	<input type="checkbox"/>	<input type="checkbox"/>
Francis Briere	<input type="checkbox"/>	<input type="checkbox"/>

Cette résolution est:

This resolution is:

Adoptée/Carried:

Rejetée/Defeated:

Modifiée/Amended:

**DÉCLARATION D'INTÉRÊT / DISCLOSURE OF INTEREST**

Nom / Name: \_\_\_\_\_, \_\_\_\_\_ a (ont) déclaré ses (leur) intérêts,  laissé son (leur) siège(s) et  quitté la salle du Conseil./Disclosed his (her, their) interest,  vacated his (her, their) seat(s) and  left Council chambers.

\_\_\_\_\_  
Greffière  
Clerk



## Corporation de la municipalité de La Nation Procès-verbal

### Information de la réunion

**Numéro de réunion :** 2022-18

**Type :** Ordinaire

**Date :** 8 août 2022

**Heure :** 16h00

**Endroit :** Zoom

**Président :** François St-Amour, Maire

**Préparé par :** Aimée Roy, Greffière adjointe

**Vidéo :** le vidéo de la réunion du Conseil est sur [YouTube](#)

### Présence des membres du Conseil

Maire François St-Amour, oui  
 Conseillère quartier 1 Marie-Noëlle Lanthier, oui  
 Conseiller quartier 2 Alain Mainville, oui  
 Conseiller quartier 3 Danik Forgues, oui  
 Conseiller quartier 4 Francis Brière, oui

### Présence du personnel municipal

Josée Brizard, DG-Greffière  
 Aimée Roy, Greffière adjointe  
 Jasmin Lemieux, Assistant administratif  
 Guylain Lafèche, Directeur de l'urbanisme  
 Marc Legault, Directeur des travaux public  
 Nadia Knebel, Trésorière

### Sujets à l'horaire précis :

Huis clos

### Ordre du jour

#### 1. Ouverture de l'assemblée

**Résolution :** 345-2022

**Proposée par :** Danik Forgues

**Appuyée par :** Francis Brière

Qu'il soit résolu que la présente assemblée soit ouverte.

Adoptée

#### 2. Modifications et additions à l'ordre du jour

**16.8** Comtés-Unis de Prescott-Russell, Journée portes ouvertes et réunion publique – Plan officiel proposé

### 3. Adoption de l'ordre du jour

**Résolution** : 346-2022

**Proposée par** : Marie-Noëlle Lanthier

**Appuyée par** : Alain Mainville

Qu'il soit résolu que l'ordre du jour soit accepté incluant les modifications apportées séance tenante, le cas échéant.

Adoptée

### 4. Déclaration de conflit d'intérêt

### 5. Adoption des procès-verbaux des réunions précédentes

#### 5.1 Procès-verbaux de la réunion ordinaire du Conseil tenue le 25 juillet 2022

**Résolution** : 347-2022

**Proposée par** : Marie-Noëlle Lanthier

**Appuyée par** : Danik Forgues

Qu'il soit résolu que le procès-verbal de l'assemblée suivante soit adopté tel que présenté :

- Procès-verbal de la réunion ordinaire tenue le 25 juillet 2022

Adoptée

### 6. Adoption des recommandations des comités du conseil municipal

#### 6.1 Procès-verbal de la réunion du Comité de gestion du réseau d'aqueduc tenu le 15 juin 2022

**Résolution** : 348-2022

**Proposée par** : Francis Brière

**Appuyée par** : Danik Forgues

Qu'il soit résolu que le procès-verbal de la réunion suivante du Comité de gestion du réseau d'aqueduc soit adopté tel que présenté :

- Procès-verbal du 15 juin 2022

Adoptée

### 7. Réception des rapports mensuels des membres de l'administration

#### 7.1 Marc Legault, Directeur des travaux publics

##### 7.1.1 Rapport TP-17-2022

Vente de véhicule usagé (Equinox)

**Résolution** : 350-2022

**Proposée par** : Francis Brière

**Appuyée par** : Danik Forgues

Qu'il soit résolu que le Conseil approuve la recommandation, telle que présentée dans le rapport TP-17-2022, approuvant ainsi que le véhicule VUS Chevrolet 2009 soit vendu tel quel et sans garantie à Doug Quesnel pour la somme de 1 000,00\$ plus taxes selon les renseignements et conditions dans l'offre Road-08-2022.

Adoptée

##### 7.1.2 Rapport ENV-08-2022

Appel d'offre pour collecte de déchet

**Résolution** : 349-2022

**Proposée par** : Marie-Noëlle Lanthier

**Appuyée par :** Alain Mainville

Qu'il soit résolu que le Conseil approuve la recommandation, telle que présentée dans le rapport ENV-08-2022, afin de permettre à l'administration de procéder en appel d'offre pour le service de collecte de déchets.

Adoptée

## 7.2 Guylain Laflèche, Directeur de l'urbanisme

### 7.2.1 Rapport BL-04.2-2022

Exemption au règlement du bruit, 1348 rue Calypso

**Résolution :** 351-2022

**Proposée par :** Francis Brière

**Appuyée par :** Alain Mainville

Attendu que l'organisateur ait changé le lieu de l'événement spécial « Endurocross » du 1974, rue des Pins au 1348, rue Calypso;

Qu'il soit résolu que le Conseil abroge la résolution no 308-2022 adopté le 11 juillet 2022;

Qu'il soit aussi résolu que le Conseil approuve la recommandation telle que présentée dans le rapport BL-4.2-2022, approuvant ainsi la demande de Hubert Lacroix pour une exemption au règlement sur le bruit de 23h00 le 20 août 2022 à 1h00 le 21 août 2022, et de 23h00 le 21 août à 1h00 le 22 août 2022 soit approuvé pour l'événement Endurocross qui aura lieu au 1348, rue Calypso à Limoges.

Adoptée

### 7.2.2 Rapport PLA-11-2022

Boucle de conduite d'eau, Casselman

**Résolution :** 352-2022

**Proposée par :** Danik Forgues

**Appuyée par :** Marie-Noëlle Lanthier

Qu'il soit résolu que le Conseil approuve la recommandation du service de l'aménagement de territoire stipulé dans le rapport PLA-11-2022, concernant le service d'aqueduc municipal de Casselman.

Qu'il soit aussi résolu que l'administration envoie une lettre à la municipalité de Casselman pour voir l'intérêt pour la vente d'unité d'eau aux résidents rattachés au tronçon en question.

Adoptée

### 7.2.3 Rapport BLD-07-2022

Remboursement des dépôts de permis de construction

**Résolution :** 353-2022

**Proposée par :** Francis Brière

**Appuyée par :** Alain Mainville

Qu'il soit résolu que le permis de construction énuméré dans la note de service BLD-07-2022 soit exempté de la section 2 de la cédule B du règlement 85-2002 (Règlement de permis de construction).

Adoptée

## 7.3 Todd Bayly, Chef du service du bâtiment

### 7.3.1 Statistique des permis de construction pour le mois juillet 2022

**Résolution** : 354-2022

**Proposée par** : Alain Mainville

**Appuyée par** : Francis Brière

Qu'il soit résolu que le Conseil approuve le rapport sur les statistiques de permis de construction pour le mois de juillet 2022.

Adoptée

## **8. Avis de motions proposées**

### **8.1 Ville de Mississauga, Alerte Draven**

**Résolution** : 355-2022

**Proposée par** : Alain Mainville

**Appuyée par** : Marie-Noëlle Lanthier

Qu'il soit résolu que le Conseil de la Municipalité de La Nation appui la résolution adoptée par le Conseil de la Ville de Mississauga le 6 juillet 2022, portant sur la création d'une alerte Draven qui protégerait les enfants vulnérables.

Adoptée

### **8.2 Canton de North Glengarry, Demande de redécoupage de la circonscription électoral de Glengarry nord**

Motion reportée

## **9. Affaires découlant des réunions précédentes**

## **10. Délégations**

## **11. Demandes au comité de division de terrains de Prescott-Russell**

## **12. Règlements municipaux**

## **13. Approbation du rapport de variance et comptes fournisseurs**

### **13.1 Comptes payables**

**Résolution** : 356-2022

**Proposée par** : Alain Mainville

**Appuyée par** : Danik Forgues

Qu'il soit résolu que le Conseil approuve les comptes payables jusqu'au 15 août 2022.

Pièce justificative 15 : 1 060 489,15 \$

Adoptée

## **14. Autres**

## **15. Rapports mensuels divers**

### **15.1 BSEO**

Avis de flambée

## **16. Correspondance**

### **16.1 AMO, Infolettres**

### **16.2 Leadership féminin Prescott-Russell, Lettre de remerciements**

### **16.3 Gouvernement de l'Ontario, Réalisation accélérée de projets d'Internet à haut débit**

### **16.4 Solliciteur général, Normes de soins pour les chiens gardés à l'extérieur en Ontario**

### **16.5 Ville de Aylmer, Politique sur centre de réchauffement et refroidissement**

16.6 Ville de South Bruce Peninsula, Pénurie de médecins en Ontario

16.7 Canton de Puslinch, Résumé et implications du projet de loi provincial 109

16.8 Comtés-Unis de Prescott-Russell, Journée portes ouvertes et réunion publique – Plan officiel proposé

**Résolution** : 357-2022

**Proposée par** : Marie-Noëlle Lanthier

**Appuyée par** : Alain Mainville

Qu'il soit résolu que la correspondance telle que décrite à l'ordre du jour du 8 août 2022 soit reçue.

Adoptée

## 17. Événements à venir

17.1 Réunion de conseil ordinaire, 29 août 2022

17.2 Tournoi de Golf bénéfice annuel Francis Drouin, 19 août 2022

17.3 Tournoi de Golf annuel de la SDCPR, 26 août 2022

17.4 Tournoi de Golf annuel des Amis de la CNS, 9 septembre 2022

## 18. Huis clos

### Ajournement

**Résolution** : 358-2022

**Proposée par** : Francis Brière

**Appuyée par** : Danik Forgues

Qu'il soit résolu que la présente assemblée soit ajournée à **16h43** pour une session à huis clos conformément aux sections suivantes de la *Loi municipale 2001* :

Section 239 (2)

(b) des renseignements privés concernant une personne qui peut être identifiée;

(d) relations de travail

Adoptée

### Ré-ouverture

**Résolution** : 359-2022

**Proposée par** : Danik Forgues

**Appuyée par** : Francis Brière

Qu'il soit résolu que la présente assemblée soit rouverte à **16h54**.

Adoptée

18.1 Nadia Knebel, Trésorière

Employé

Section 239 (2) (b) des renseignements privés concernant une personne qui peut être identifiée, y compris des employés de la municipalité ou du conseil local

## 19. Règlement pour confirmer les procédures du Conseil

**Résolution** : 360-2022

**Proposée par** : Marie-Noëlle Lanthier

**Appuyée par** : Alain Mainville

Qu'il soit résolu que le règlement no 102-2022, pour confirmer les procédures du Conseil à sa réunion ordinaire du 8 août 2022, soit lu et adopté en première, deuxième et troisième lecture.

Adoptée

**20. Ajournement**

**Résolution** : 361-2022

**Proposée par** : Francis Brière

**Appuyée par** : Alain Mainville

Qu'il soit résolu que la présente assemblée soit ajournée à **16h55**.

Adopté



## **RAPPORT DU SERVICE DES FINANCES**

Numéro de rapport: F-20-2022

Sujet: Amendement des règlements d'eau et d'égouts

Préparé par: Nadia Knebel, Trésorière

Révisé par: Josée Brizard, DG - Greffière

Date: le 29 août 2022

## INTRODUCTION:

Depuis l'adoption du projet de loi 108 de l'Ontario, « More Homes, More Choice », la municipalité a vu une augmentation du nombre de grands appartements destinés à loger une famille plutôt qu'un couple. Ces appartements varient en taille, mais beaucoup sont plus grands que 865 pieds carrés. Il est juste de dire qu'un appartement de 865 pieds carrés peut facilement loger plus de deux personnes et que son utilisation serait donc plus proche de celle d'une maison.

Présentement, lorsqu'une propriété est raccordée au réseau d'eau et/ou d'égouts, peu importe sa taille, la première connexion est une unité et les connexions supplémentaires sur la même propriété sont 0,65 d'une unité. Une unité supplémentaire serait, par exemple, l'ajout d'un appartement au sous-sol afin d'obtenir un revenu locatif.

"Unités" est le terme utilisé pour désigner le multiplicateur utilisé dans les calculs d'eau et d'égouts, que ce soit pour les frais communs ou les frais d'entretien. Par exemple, une habitation unifamiliale représente une unité.

Pour les unités supplémentaires à une propriété, la réduction à 0,65 d'une unité est basée sur l'idée que l'appartement ajouté a généralement une plus petite superficie en pieds carrés par rapport à la maison. Il abritera donc moins de personnes et par conséquent, la consommation d'eau sera moins importante que celle de la maison.

En ce moment, seuls les règlements sur les coûts d'immobilisation des services d'eau et d'égout de Limoges prévoient une superficie de moins de 865 pieds carrés pour l'application de 0,65 unité (voir les règlements 103-2016 et 122-2015).

La superficie moyenne d'un appartement d'une chambre à coucher dans La Nation est de 675 à 700 pieds carrés (selon l'inspecteur en chef de la construction, basé sur des données courantes). Un appartement d'une chambre à coucher abrite normalement 1 ou 2 personnes.

## CHANGEMENT PROPOSÉ:

Étant donné qu'un appartement de 865 pieds carrés peut abriter autant de personnes qu'une maison unifamiliale, nous proposons de modifier la définition du terme " Unité " dans tous les règlements d'eau et d'égouts qu'ils portent sur les frais communs ou les frais d'entretien afin de tenir compte de la taille des appartements. Cela entraînerait le changement suivant (traduit à titre d'information, le règlement étant disponible qu'en anglais):

PRÉSENTE DÉFINITION POUR "UNITÉ"	DÉFINITION PROPOSÉE POUR "UNITÉ"
"Unité" est définie comme une quantité unique d'occupation considérée comme un tout dans le calcul et déterminée comme un standard de mesure. Aux fins du calcul du nombre d'unités, la première unité est une unité et toute unité supplémentaire est 0,65 d'une unité.	"Unité" est définie comme une quantité unique d'occupation sous une seule propriété considérée comme un tout dans le calcul et déterminée comme un standard de mesure. Aux fins du calcul du nombre d'unités, la première unité, quelle que soit sa taille, est une unité et toute unité supplémentaire de <b>700 pieds carrés ou moins</b> est établie à <b>0,50</b> d'une unité par connexion <b>et les unités supplémentaires de 701 pieds carrés ou plus sont considérées comme une unité.</b>

Nous proposons de réduire le nombre d'unités de 0,65 à 0,50 puisque la diminution de la superficie en pieds carrés implique au moins la moitié du nombre de personnes par rapport à une maison unifamiliale, ce qui réduit également l'utilisation d'eau.

## IMPACT DU CHANGEMENT PROPOSÉ:

### Exemple 1:

Un immeuble de 40 appartements avec 18 appartements de 700 pieds carrés ou moins et 22 appartements de 701 pieds carrés ou plus. La différence serait la suivante:

UNITÉS SELON LE PRÉSENT RÈGLEMENT	UNITÉS SELON LE RÈGLEMENT PROPOSÉ
Premier appt = 1 Balance des appts = 0,65 → 39 appts  Les unités totales sont donc: (1 x 1) + (39 x 0,65) = 26,35 unités	Premier appt = 1 Balance des appts: <ul style="list-style-type: none"><li>• 700 pi<sup>2</sup> ou moins = 0,5 → 18 appts</li><li>• 701 pi<sup>2</sup> ou plus = 1 → 21 appts</li></ul> Les unités totales sont donc: (1 x 1) + (18 x 0,5) + (21 x 1) = 31 unités
Différence : 31 – 26,35 = 4,65 unités	

Dans une situation comme celle-ci, nous gagnons 4,65 unités. L'impact est minime, mais les unités facturées sont plus conformes à la consommation par rapport à une maison individuelle.

### Exemple 2:

Un immeuble de 26 appartements avec 20 appartements de 700 pieds carrés ou moins et 6 appartements de 701 pieds carrés ou plus. La différence serait la suivante:

UNITÉS SELON LE PRÉSENT RÈGLEMENT	UNITÉS SELON LE RÈGLEMENT PROPOSÉ
Premier appt = 1 Balance des appts = 0,65 → 25 appts  Les unités totales sont donc: (1 x 1) + (25 x 0,65) = 17,25 unités	Premier appt = 1 Balance des appts: <ul style="list-style-type: none"><li>• 700 pi<sup>2</sup> ou moins = 0,5 → 20 appts</li><li>• 701 pi<sup>2</sup> ou plus = 1 → 5 appts</li></ul> Les unités totales sont donc: (1 x 1) + (20 x 0,5) + (5 x 1) = 16 unités
Différence: 16 – 17,25 = -1,25 unités	

Dans cette situation, nous perdons 1,25 unité. Cependant, il est probable qu'une ou deux personnes résident dans l'appartement de 700 pieds carrés ou moins. Par conséquent, la perte de 0,5 unité est logique par rapport aux appartements plus grands qui peuvent abriter trois personnes ou plus. Encore une fois, nous constatons que l'impact est minime en termes de différence d'unités, et qu'il donne aux petits appartements un avantage en termes de facturation de l'eau et des égouts.

## CONCLUSION:

En conclusion, le changement aura un certain impact financier, mais il permet à la municipalité de s'adapter au style de logement que nous voyons maintenant dans la municipalité.

## PIÈCE JOINTE:

- Règlement proposé visant à modifier les règlements d'eau et d'égouts mentionnés ci-dessus.

## RECOMMANDATION:

Il est recommandé que le Conseil approuve la modification proposée à la définition d'unité pour les règlements sur d'eau et d'égouts.

Nadia Knebel, CPA  
Treasurer

# CORPORATION OF THE NATION MUNICIPALITY

## BY-LAW NO. 106-2022

**BEING A BY-LAW** for the Corporation of The Nation Municipality to amend By-Law No. 122-2015 regarding the collection of charges for capital costs to extend water distribution and sanitary sewer services to properties serviced by the Village of Limoges

**THEREFORE** the Council of the Corporation of The Nation Municipality **ENACTS AS FOLLOWS:**

**1.0** That By-Law No 122-2015 be amended to include the following changes:

1.1 Section 2.1 Definitions "Unit" be amended to read as follows:

"Unit" is defined as a single quantity of occupancy under single ownership regarded as a whole in the calculation and determined as a standard of measurement. For the purpose of calculating the number of units, the first unit, regardless of size, shall be one and any additional unit 700 square feet or less shall be set out as 0.50 of a unit per connection and additional units 701 square feet or more shall be deemed as one.

## **2.0 EFFECTIVE DATE**

2.1 This By-Law shall come into force and effect on the date of its passing and hereby repeals By-Law 103-2016 as of this date.

READ A FIRST, SECOND AND DULY PASSED UPON THE THIRD READING  
THIS 29<sup>th</sup> DAY OF AUGUST 2022.

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François St Amour  
Mayor

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Josée Brizard  
CAO-Clerk

# CORPORATION OF THE NATION MUNICIPALITY

## BY-LAW NO. 107-2022

**BEING A BY-LAW** for the Corporation of The Nation Municipality to amend By-Laws listed in section 1.0 below regarding the provision of water works for the supplying of water services and the supplying of sanitary sewer services in the Nation Municipality.

**THEREFORE** the Council of the Corporation of The Nation Municipality **ENACTS AS FOLLOWS:**

**1.0** That the following By-Laws be amended to include the following changes:

- By-Law No 91-2010 St-Bernardin Sewer Capital Cost
- By-Law No 35-2011 Forest Park Sewer Capital Cost
- By-Law No 84-2012 St-Isidore Sewer Capital Cost
- By-Law No 102-2016 Fournier Sewer Capital Cost
- By-Law No 103-2019 St-Isidore Water Capital Cost
- By-Law No 85-2021 St-Albert Sewer Capital Cost
- By-Law No 10-2022 St-Isidore Water Usage Charge
- By-Law No 11-2022 Limoges Water NetworkUsage Charge
- By-Law No 12-2022 Sewer Usage Charge

**1.1** In the Definitions section, "Unit" be amended to read as follows:

"Unit" is defined as a single quantity of occupancy under single ownership regarded as a whole in the calculation and determined as a standard of measurement. For the purpose of calculating the number of units, the first unit, regardless of size, shall be one and any additional unit 700 square feet or less shall be set out as 0.50 of a unit per connection and additional units 701 square feet or more shall be deemed as one.

**2.0** All other provisions of the By-Laws listed above remain.

### **3.0 EFFECTIVE DATE**

**3.1** This By-Law shall come into force and effect on the date of its passing.

READ A FIRST, SECOND AND DULY PASSED UPON THE THIRD READING  
THIS 29<sup>th</sup> DAY OF AUGUST,2022.

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François St Amour  
Mayor

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Josée Brizard  
CAO-Clerk

**CORPORATION DE LA MUNICIPALITÉ DE LA NATION  
CORPORATION OF THE NATION MUNICIPALITY**

Type: \_\_\_\_\_

Date: \_\_\_\_\_

Résolution No.: \_\_\_\_\_

Proposée par/Moved by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Briere

Appuyée par/Seconded by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Briere

**Remboursement des dépôts de permis de construction – Exemption de la section 2 de la cédule B du règlement 85-2005**

Qu'il soit résolu que les permis de construction énumérés dans la note de service BLD-08-2022 soit exempté de la section 2 de la cédule B du règlement 85-2005 (Règlement de permis de construction) :

**Building permit deposit reimbursement- Exemption of section 2 of Schedule B of By-law 85-2005**

Be it resolved that the building permit shown under Memo BLD-08-2022 be exempted of section 2 of Schedule B of By-law 85-2005 (Building permit By-law):

Recorded Vote/Vote Enregistré

	<u>Yea</u>	<u>Nay</u>
Francois St. Amour	<input type="checkbox"/>	<input type="checkbox"/>
Marie-Noëlle Lanthier	<input type="checkbox"/>	<input type="checkbox"/>
Alain Mainville	<input type="checkbox"/>	<input type="checkbox"/>
Danik Forgues	<input type="checkbox"/>	<input type="checkbox"/>
Francis Briere	<input type="checkbox"/>	<input type="checkbox"/>

Cette resolution est:	
This resolution is:	
Adoptée/Carried	<input type="checkbox"/>
Rejetée/Defeated:	<input type="checkbox"/>
Modifiée/Amended:	<input type="checkbox"/>

**DÉCLARATION D'INTÉRÊT / DISCLOSURE OF INTEREST**

Nom / Name: \_\_\_\_\_, \_\_\_\_\_ a (ont) déclaré ses (leur) intérêts, a laissé son (leur) siège(s) et a quitté la salle du Conseil./Disclosed his (her, their) interest, vacated his (her, their) seat(s) and left Council chambers.

\_\_\_\_\_  
Greffière  
Clerk

**NOTE DE SERVICE BLD-08-2022**

**SERVICE DE L'AMÉNAGEMENT DU TERRITOIRE**

**DATE:** Le 29 août 2022

**OBJET:** Demande de remboursement de dépôt de permis de construction

**DESTINATAIRE:** Membres du Conseil

Membres du conseil,

La construction du permis suivant n'a pas été terminée dans le délai requis d'un an (cause : COVID-19 et délai des matériaux de construction). Nous demandons le remboursement en entier du dépôt pour la construction ci-dessous :

# Permis	Adresse	Date d'émission	Inspection finale	Roll #
2021-119	2161 County Rd 16	26 mai 2021	11 août 2022	026-012-07700
2021-105	1718 County Rd 8	11 mai 2021	25 août 2022	026-020-04500

Par le passé, le Conseil a acquiescé à des demandes semblables, mais dans un délai de deux ans suivant la date d'un an. (Ex : retard relié à la température, changement de contracteur, événement d'urgence etc...)

Le Service de construction n'a pas de problème avec la demande, nous demandons donc au conseil d'exempter les permis ci-haut mentionnés de l'article 2 du règlement 85-2005 et de remettre 100% du dépôt de performance pour les permis 2021-119 et 2021-105.

Guylain Lafèche, MCIP, RPP  
Urbaniste

**MEMO BLD-08-2022**

**PLANNING DEPARTMENT**

**DATE:** August 29, 2022

**RE: Request for reimbursement of building permit deposit**

**RECIPIENT: Board Members**

Board Members,

Construction of the following permit was not completed within the required one-year timeframe (cause: COVID-19 and delay of building materials). We request full reimbursement of deposit for the construction below:

Permit #	Address	Date Issued	Final Inspection	Roll #
2021-119	2161 County Rd 16	May 26, 2022	August 11, 2022	026-012-07700
2021-105	1718 County Rd 8	11 mai 2021	25 août 2022	026-020-04500

In the past, the Board has granted similar requests, but within two years of the one-year date. (Ex: delay related to temperature, change of contractor, emergency event, etc.)

The Construction Department has no problem with the request, we therefore ask the council to exempt the above-mentioned permits from article 2 of by-law 85-2005 and to return 100 % for 2021-119 and 2021-105 of performance deposit.

Guylain Lafèche, MCIP, RPP  
Planner

# SOCIÉTÉ PROFESSIONNELLE LACOMBE

Par Jean-Jacques LaCombe

Commissaire à l'intégrité pour la Municipalité de la Nation

Integrity Commissioner for the Nation Municipality

Telephone: (613) 678-9124

Courriel/email: [jjlc.integrity@gmail.com](mailto:jjlc.integrity@gmail.com)

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Le 8 août 2022

Mme Josée Brizard  
Greffière de la Municipalité  
de la Nation

## **Compétence : Mme Josée Brizard**


Sujet : Mandat pour les années 2023 et 2024

Chère Mme Brizard,

Suite à notre dernier entretien téléphonique, après mure réflexion, je suis heureux de vous aviser que je demanderai à votre conseil de renouveler mon mandat comme Commissaire à l'intégrité pour les années 2023 à 2024.

Veillez présenter ma demande à votre conseil et me faire savoir si celui-ci est prêt à renouveler mon mandat sujet aux mêmes conditions que celles de l'entente précédente.

Espérant le tout conforme, je vous prie de bien vouloir agréer, chère Mme Brizard et chers membres du Conseil, l'expression de mes sentiments les meilleurs,



Jean-Jacques LaCombe  
Commissaire à l'intégrité

# Leroux Consultant

Eric Leroux

655, Rue Albert Plantagenet, Ontario K0B 1L0

Cell: (613) 223-9824

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July 31<sup>st</sup>, 2022

File Reference 2022-0706

The Nation Municipality

3248 county Road 9

Fournier, Ontario

K0A 1G0

Attention : Ms. Joanne Bougie-Normand

RE : Drainage Superintendent Duties

Dear Ms. Bougie-Normand

Please find enclosed a brief description of work performed for the period between from July 1<sup>st</sup> to July 31<sup>st</sup>, 2022.

## **General Drainage concerns**

- 1) I received a request by a new landowner along the Caledonia Creek municipal drain asking for details in regards to a new crossing he would like to install in the drain. I told him that he would have to get an engineer to size the crossing to make sure it would be sufficient to prevent flooding or restriction after spring thaw as this area is mostly under water. I also told him that a bridge built higher than the slopes would not require any engineering and would prevent flooding or restriction because it would not close in the open existing channel. That he would be liable if he installed any structures in the drain if it was deemed restrictive to the upstream section of drain. The municipality could remove the crossing installed without permission in the municipal drain at his cost under the Ontario Drainage Act - Section (1) Person responsible for obstruction to remove it on notice. If the owner does not take care of resolving the issue after receiving a notice to remove the obstruction, the municipality would have to do it at the owners cost.
- 2) I had a few exchanges with the OMAFRA Drainage Coordinator to resolve a culvert issue, where there is three engineer's report for the McLeod municipal drain, and I want to make sure that the process is correct before ordering culverts, as the reports seemed to have half the cost to the landowners and half to be assess to the drain, meaning that half of the entire culvert installation could be grantable and half not.

One statement in earlier culverts was not clear as they were not mentioned in the reports for future maintenance. I am still waiting for the confirmation from the Coordinator to proceed with ordering culverts.

- 3) We had many discussions with landowners and the engineer appointed to draft a new report for the Adam municipal drain in regards to the watershed as tile drainage plans were provided, but other land was tile drained without plans. This process is still ongoing.
- 4) We surveyed the Dignard municipal drain after getting a request from a drainage contractor for inspection of the drain as he told us an owner along the drain had issues with tile drain outlets not working properly. We also saw a culvert with a hole on top where a joint as collapsed that will likely need to be replaced as we do a ditch bottom clean out. We also saw that the Richer & Frères municipal drain was in need of a ditch bottom clean out being the outlet of the Dignard drain. The United-Counties of Prescott & Russell as replaced the road culvert in the Richer & Frères drain that crosses County road 8, and we saw that it was almost half full of water. The Richer et Frères outlets in the South Plantagenet that would also need to have a ditch bottom clean out in the section where this drain enters to provide better drainage to every system connected to it.
- 5) I am in discussion with the new owners of the cycling trail to get a culvert replacement that collapsed under the trail. I have also had discussion with the closest landowners wanting to get flooding concerns resolved as this section would need to be reviewed by an engineering firm to look at changing the culvert under the cycling trail to get better flow, but not excessive to cause erosion downstream. This process is ongoing.
- 6) I had a request from a landowner along the Des Alouettes municipal drain to get a cost estimate for this section of drain along his part of land realigned. I spoke with an engineer to get process needed and also cost estimate to present to this landowner. The owner will decide after getting a cost estimation if he would like to proceed.
- 7) I prepared a partial section of the Demers-Cayer municipal drain abandonment form for the clerk to complete and send to affected landowners. This section is at the upper end of the drain, and the owner wanted to close in this section.
- 8) We have prepared documents to be presented at the watershed landowners meeting that we also planned at the Harold Shane drain. This drain need to have a section of the slope stabilised with geotextile and sorted stone. A long section of the drain also requires a ditch bottom clean out. The owners agreed to take this action and inspect the drain next year. This drain is very deep and slopes are affected by flooding of the South Nation River every spring. We will remove hanging sections of turf and smaller brush that could fall in the drain and cause more restriction, and re-evaluate every year.

- 9) I had a meeting with a new owner along the upper section of the Reynald Leduc municipal drain to let him know that we will be performing a ditch bottom clean out of the drain soon.
- 10) We begun to prepare documents to be presented at a future meeting with owners in regards to a proposal to perform a ditch bottom clean out to the Lafleèche-Machabee municipal drain as a few owners have requested maintenance.
- 11) I received a call from a landowner asking if we could look into planning a ditch bottom clean out of the Hubert Harrigan Mutual drain. I told him that I will have to do some research of this drain as Mutual drains are usually done by the landowners in the drain. This research will be done in August to provide more details on how to proceed.
- 12) The slope stabilisation on the South side of the drain is being planned to proceed on the St-Pierre municipal drain in August, weather permitting. We had initial discussions with the contractor to provide this work time frame.
- 13) We had a meeting with a new landowner along the Henri Cuerrier municipal drain, and the Eric Howes municipal drain. They are asking if a drain realignment would be possible and what would be the process and possible cost. This request will be studied, and a survey of the proposed section would be done to evaluate if the grades would make this request possible. The realignment would be to move a drain that crosses an agricultural field on an angle making it very difficult to have productive fields to work in.
- 14) We took part of an online DFO-Regional session: Prescribed works & waters Regulation-Ontario Municipal Drain maintenance and repairs technical presentation. This was a presentation to get feedback about what changes was planned by DFO in regards to planning maintenance work, the different classification that would come in force to replace the actual classification we work with now. DFO also give us the opportunity to send our comments and recommendations. This is an ongoing process.

Hoping the above is to your satisfaction, I remain.

Yours truly,



Eric Leroux  
Leroux Consultant



## **Rapport au Conseil**

**Numéro de Rapport:** HS-01-2022

**Sujet:** Levée des mesures d'urgence COVID-19

**Préparé par:** Richard Groulx, Coordonnateur Santé-Sécurité

**Révisé par :** Josée Brizard, Directrice Générale

**Date de la réunion:** le 29 août 2022

## **Contexte**

Levée des mesures d'urgence établies pour donner suite à la pandémie COVID-19.

## **Rapport**

Le 17 mars 2020, le Gouvernement de l'Ontario décrétait une situation d'urgence en vertu du paragraphe 7.0.1(1) de *la loi sur la protection civile et la gestion des situations d'urgence*;

Le médecin hygiéniste du Bureau de Santé de l'est de l'Ontario, Dr Paul Roumeliotis avisait les résidents de pratiquer la distanciation sociale ainsi que l'auto-isolation et a ordonné la fermeture de plusieurs établissements et l'arrêt de plusieurs activités dans la région afin de freiner la propagation du COVID-19. Le Maire de la Municipalité, M. François St-Amour a décrété l'État des mesures d'urgence dans la Municipalité.

Au mois de juin 2022, le Gouvernement de l'Ontario, pour donner suite aux recommandations du médecin hygiéniste en chef, a levé l'état d'urgence décrété, et ce à l'ensemble de la province.

## **Recommandation**

Que le conseil approuve la levée de l'état d'urgence décrété le 6 avril 2020.

## **Pièce jointe**

- Déclaration État d'urgence La Nation

## **DÉCLARATION DE L'ÉTAT D'URGENCE LOCALE – PRÉSIDENT DU CONSEIL**

**Article 4 de la *Loi sur la protection civile et la gestion des situations d'urgence*,  
L.R.O. 1999, chap. E.9**

**ATTENDU QUE** l'écllosion d'une maladie transmissible, à savoir la maladie du coronavirus (COVID-19), constitue un danger public à un point tel qu'elle risquerait potentiellement de causer un grave préjudice aux résidents de la municipalité de La Nation ;

**ET ATTENDU QUE** le 17 mars 2020, le gouvernement de l'Ontario a décrété une situation d'urgence en vertu du paragraphe 7.0.1(1) de la *Loi sur la protection civile et la gestion des situations d'urgence* ;

**ET ATTENDU QUE** le médecin hygiéniste du Bureau de santé de l'Est de l'Ontario, Dr Paul Roumeliotis, a avisé les résidents de pratiquer la distanciation sociale ainsi que l'auto-isolation, et a ordonné la fermeture de plusieurs établissements et l'arrêt de plusieurs activités dans la région, afin de freiner la propagation du COVID-19 ;

**ET ATTENDU QUE** la municipalité de La Nation, décrite ci-dessous, fait face à une situation d'urgence exigeant une intervention rapide afin de protéger la sécurité, la santé ou le bien-être des personnes, ou de prévenir l'endommagement de biens ;

**ET ATTENDU QUE** la Municipalité de La Nation se positionne pour demander du support financier à la province lorsque la municipalité sera dans le besoin dans ces temps de grandes crises.

**Lieu de l'urgence :** **La municipalité de La Nation**

**Nature de l'urgence :** **Propagation du nouveau coronavirus (COVID-19)**

**ET ATTENDU QUE** le soussigné est convaincu qu'une urgence, définie dans la *Loi sur la protection civile et la gestion des situations d'urgence*, existe ou est susceptible d'exister dans les Comtés unis de Prescott et Russell, comme mentionné ci-dessus ;

**ET ATTENDU QUE** le soussigné a avisé le Comité de gestion du programme des urgences.

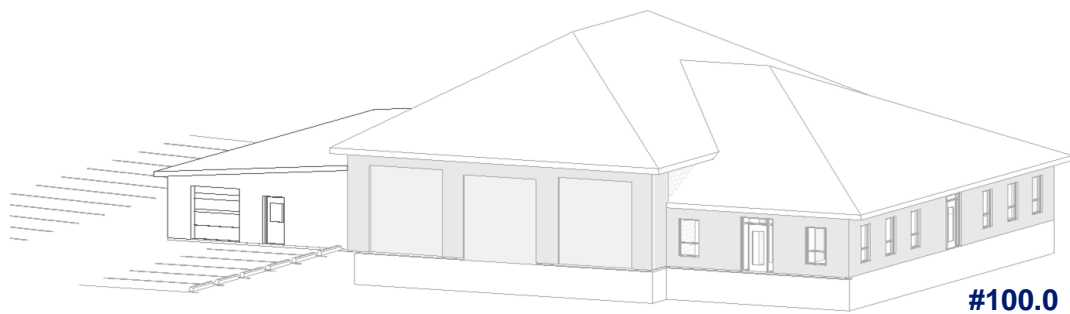
**PAR LA PRÉSENTE, LE SOUSSIGNÉ DÉCLARE**, conformément à l'article 4 de la *Loi sur la protection civile et la gestion des situations d'urgence*, l'état d'urgence locale dans la municipalité de La Nation, dans les Comtés unis de Prescott et Russell, dans la Province de l'Ontario, à et à partir de 13h00 du 6<sup>e</sup> jour d'avril 2020.

**CETTE DÉCLARATION DE L'ÉTAT D'URGENCE LOCALE** doit être en vigueur jusqu'à nouvel ordre.

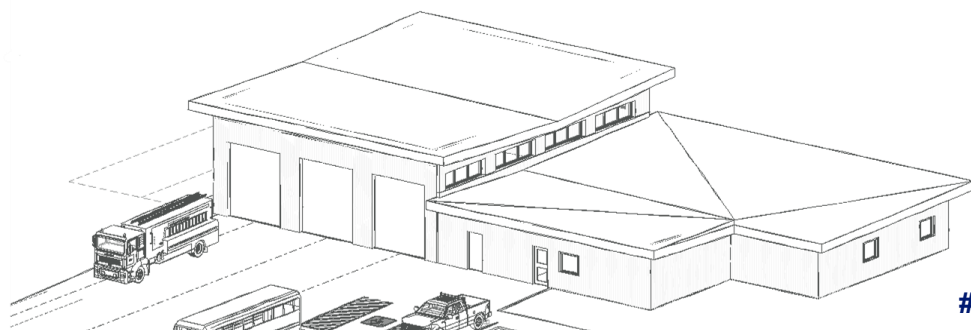
**DATÉE DU** 6<sup>e</sup> jour d'avril 2020 au village de Casselman, dans les Comtés unis de Prescott et Russell.

---

François St-Amour, Maire  
Comtés unis de Prescott et Russell  
(613) 764-5444 / [Francois.St-Amour@nationmun.ca](mailto:Francois.St-Amour@nationmun.ca)



#100.0



#400.1



August 19, 2022

## Needs Assessment and Options Analysis:

Station 100: St. Isidore, Ontario

Station 400: St-Albert, Ontario

Prepared for la municipalité de la Nation:

**La Nation Contact:**



Mme. Josée Brizard, Chief Administrative Officer

M. Richard Groulx, Fire Chief

Clockwise from top left:  
Sault Area Hospital Ambulance Dispatch,  
South Urban Fire Station Ottawa, St.  
Isidore and St-Albert FS Images,  
Casselman Fire Station, Pembroke Fire  
Station (x2)

# IDEA

INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE

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## A. Glossary

Nation The municipality of La Nation

NFD Nation Fire Department

NFPA National Fire Protection Agency

*While the NFPA standards have no legal status in Canada, some standards are referenced in the building code. They do represent collective experience of professional firefighters, technical research. It is widely accepted.*

NMFP Nation Master Fire Plan

OBC Ontario Building Code

OFM Office of the Fire Marshall

UCPR United Counties of Prescott Russell

## B. Executive Summary

As outlined in Nation Master Fire Plan (NMFP), it is not financially sustainable for Nation to continue operating 5 fire stations with its population and tax base. It also outlines an order of magnitude of \$5M for 3-double bay station.

IDEA Inc. has been retained to conduct a needs assessment and project scoping analysis for the potential redevelopment of these fire stations. The purpose of this report is to establish a comparative baseline for an archetypal contemporary fire station, summarize the existing conditions (2) and propose “go forward” strategies (3) to be used for future funding allocation and implementation by La Nation.

### Station 100 St. Isidore

While the NMFP recommends a new Hub Station be built, the current Nation direction is to explore renovating the existing infrastructure in support of updating the industrial-functions as the administrative-functions saw an update in 2018.

The existing electrical systems, running through the building, present risks to occupants as conditions do not meet safety clearances. The existing apparatus bay floor is in very poor condition. Removing the Public Works function in favour of NFD usage provides additional operational areas.

A new addition, sacrificing some parking area, does provide much needed support spaces ignored in 2018 renovations. NFD report operational challenges with vehicle access, being across from the arena.

The salient point, for Ontario jurisdictions, to appreciate is the contemporary realities and emerging guidelines relating to firefighting infrastructures as ‘workplaces’ for employees and volunteers as they relate to potential environmental exposures and efficient workflows. Other jurisdictions already mandate segregated support rooms to ensure proper ventilation, cleaning, and off-gassing of firefighting equipment – in support of long-term health of firefighters. It is a long-term cost-effective strategy to provide such facets of fire station functions when implementing building project as later renovation interventions present added costs, service interruptions, and usually yield lesser-quality workflows.

Providing a **new St-Albert satellite station would cost ±\$5M**, not including land acquisition related costs and time. Renovating the **existing St. Isidore fire station would cost ±\$1.7M** – but this would not meet the NMFP recommendation to provide a Hub Station. It would be beneficial to assess this option in a holistic context for the area as it does remove parking currently used by the community (arena) and expands an asset that may not be to the long-term benefit of La Nation when the NFD function eventually evolve to a new Hub Station. A, NMFP-conforming **new Hub Station for St. Isidore would cost \$8.3M**, excluding land acquisition related costs.

### Station 400 St-Albert

NFD has advised a new location for a satellite station. Primarily informed by NFD’s response time assessments, this location also may benefit volunteer recruitment. Locating the site development to allow for far-future expansion of apparatus bays will benefit La Nation’s grandchildren.

This greenfield site does not have access to municipal services. Collecting rainwater, implementing heat-sink solution, and building an energy-efficient building will help mitigate long-term operational costs of a building that see intermittent but extreme use (closed for a few days before all doors open to flush out all warm air).

The proposed design is an austere rural intervention only adding features to benefit long-term durability and operational costs.

## C. Context: La Nation community

The municipality has many unique characteristics for a small town. It contains many villages, homes, cottages, gas stations, industrial business, trailer parks / campgrounds, private businesses and community buildings spread across its territory.

The provincial divided highway 417 offers quick access but also presents additional support loads for emergency services.



Its agricultural heritage fabric provides for a network of concessions and brings constraints related to bridges for circulation and maintenance. The evolving demographics are relevant to its many volunteer firefighting stations.

## D. Context: Fire Stations as Workplaces

Over many decades of natural refinement, municipal fire stations have evolved from simple storage garages to modern, active, workplaces. Given the nature of work performed by fire fighters, their required infrastructure is expected to support them in cultivating skills, mobilizing to response sites safely and ensuring a reliable, long-term, homebase. Functionally, they are efficient, versatile spaces sometimes executing some industrial-like activities and, at other times, welcoming school children on tours. Safety is the priority value in a fire station's DNA.

### 1. Safety in Responding:

Fire stations must function when called upon. Post-Disaster standards became a requirement in the 2006 Ontario Building Code for Fire Stations, Hospitals, Police Stations, and other critical facilities which need to be functional following an earthquake or other natural disaster.

### 2. Safety in Movement:

Fire stations support fire fighters' activities. With respect to clearances between apparatus (trucks and equipment), the Ontario Occupational Health and Safety Act, Industrial Establishments safety Regulations 851, requires that:

11. A floor, or other, surface used by any worker shall,
  - (a) be kept free of,
    - i. obstructions,
    - ii. hazards, and
    - iii. accumulations of refuse, snow, or ice; and
  - (b) not have any finish or protective material used on it that is likely to make the surface slippery.
12. Clearances between a moving part of any machine or any material carried by the moving part of the machine and any other machine, structure or thing shall be adequate to ensure that the safety of any worker in the area is not endangered.

In conditions of constrained spacing between parked vehicles, firefighters are at risk of injury should a vehicle be moved without the prior knowledge of the firefighter.

### 3. Safety in Execution:

Fire stations must support long-term health of fire fighters. With growing evidence of a link between cancer in firefighters to toxins that collect on firefighters' bunker gear after fighting fires, contemporary fire station design often incorporates decontamination rooms and bunker gear storage rooms where cleaned bunker gear can off-gas and be safely stored away from fuel-venting vehicles in the apparatus bay.

## **E. Functional Requirements**

### **1. Archetypal Descriptions**

The following section outlines archetypal functions comprised in a volunteer fire fighters' station. This baseline can be used to assess existing facilities and plan for new ones. Even though the fire fighters are presumed to be able-bodied people, all the fire station's functional spaces must be accessible, per current Ontario Building Code (OBC, SB-10). Generally, a contemporary fire station incorporates the following functions. Aligned to LEED principle for each project, with priority to long term energy efficiency (costed as optional prices).

### **2. Site Location**

Ideally, fire stations should be in central location in their community but not constrained by it. Access to and from the station's garage should be always intuitively clear (24/7). This means adjacent services and their functions should never 'accidentally' impeded the fire station access, this potentially be for routine material deliveries, occasional event overflow parking or intuitive protest sites.

1. Priority should be given to sites allowing for quick access in all service directions.
2. Ideally, main routes leading away from fire station have the least amount of stop signs and potentially dense pedestrian services (shops, churches, recreation, or school zones).
3. Site services should have appropriate water pressure for current and future needs.
4. Tall trees, or poles, should be minimized to mitigate them falling onto, and damaging, the building.
5. Given the industrial-like elements (noises, chemicals, training) associated with firefighting, now or potentially in the future, the fire station's setting should favour more commercial and industrial areas rather than residential or care facilities.
6. As a workplace, emergency centre, and community focal point, the fire station should be easily accessible and integrated into the community it serves.

### **3. Sustainable Development Strategies**

For this report's purposes, this section applies mostly to new buildings.

#### **1. Site Development:**

1. Design and adopt a sediment and erosion control plan for the project site during construction.
2. Install bicycle racks for transportation amenities (non-emergency access).
3. Control storm water runoff with a sediment control system.
4. Install reflective roofing material to reduce heat absorption.
5. Reduce light pollution by avoiding off-site lighting.

#### **2. Water Efficiency**

1. Site: design landscape with indigenous plants to reduce irrigation requirements.
2. Install high-efficiency fixtures and dry fixtures to reduce wastewater volumes.

#### **3. Energy & Atmosphere**

1. Adopt a commissioning plan to ensure fundamental building elements and systems are designed, installed, and calibrated to operate as intended
2. Eliminate ozone and greenhouse gas effect by choosing adequate mechanical equipment
3. Reduce energy cost by choosing adequate M&E systems

#### **4. Materials & Resources**

1. Locate an area for recyclable collection and storage to reduce waste generated by building occupants.
2. Adopt a construction waste management plan during construction and redirect recyclable and reusable materials to appropriate sites.
3. Specify local high recycle content materials.

#### **5. Indoor Environmental Quality**

1. Establish minimum indoor quality performance.
2. Control carbon dioxide quantity for indoor air quality.
3. Adopt an indoor air quality management plan during construction to reduce contamination.
4. Use low emitting materials (paints, coating, adhesives, sealants, carpets, etc.).

#### **4. Exterior Area:**

One of a municipality's focal points is their fire station. Always ready to serve, the exterior functions also serve to convey and curate innate messages of preparedness, fiscal responsibility, and approachability. In some cases, they also should provide capacity for training exercises.

1. Apparatus bay apron:
  - a. At least as wide as the garage doors, the service apron shall be at least long enough to park the longest apparatus, with ample clearances on all sides.
  - b. Full width and proposed use are always restricted to firefighting apparatus circulation. There should be no ambiguity with other adjacent functions. Employee (allow for all firefighters) and guest parking shall be clearly separated from service apron.
  - c. Adequately slope away from garage doors, down to public roadway. Provide insulated coverage to mitigate frost heaving at garage doors to ensure smooth transitions, safe surfaces.
2. Chief / employee parking:
  - a. Provide asphalted parking space, reserved for chief, adjacent to main entrance.
  - b. Provide clear signage relating to 'reserved' status.
3. Volunteer firefighter parking:
  - a. On-street parking strategies present safety and response time risks.
  - b. Provide asphalted parking area directly adjacent to apparatus bay.
  - c. Provide clear signage relating to 'reserved' status.
4. Visitor parking:
  - a. Provide 2 guest parking spaces adjacent to main entrance but clearly separate from service apron.
  - b. Ensure accessible spaces and pathways per municipal bylaws and guidelines.
  - c. Provide clear signage relating to status.
5. Bicycle rack:
  - a. Provide bicycle racks, for transportation amenities for non-emergency visitors.
6. Signage / flags:
  - a. Provide conspicuous signage, branded to municipal guidelines.
  - b. Provide 4 flag poles per municipal guidelines.
  - c. There should be a small landscaped adjacent area providing a pleasant backdrop for public exterior venue or announcements. Landscape with indigenous plants to reduce irrigation requirements

7. Services:
  - a. Locate services, and their access (including temporary parking), away from service apron, main entrance, and firefighter access points. In rural settings, space for well and septic fields need to be designed with consideration the future needs.
  - b. Provide concrete housekeeping pads and bollards to suit.
  - c. Locate an area for recyclable collection and storage to reduce waste generated by building occupants
8. Training area, at certain stations:
  - a. Provide level asphalt and gravel area for training exercises.
  - b. Provide fenced enclosure for safe storage of training vehicle(s).
  - c. Provide hydrant for training use.
  - d. 'Satellite' station may perform non-industrial training (equipment, ladders) in parking lot, ad hoc.

## **5. Public Realm Area:**

Every fire station executes a certain level of public education, safety program outreach, and, in times of need, can become a focal point for the community. As safe, free-flowing, vehicle traffic and public safety are paramount in, and around, a fire station, events and interior access (beyond emergencies) tend to be well known, planned, and controlled in advance of any visit. This is the administrative wing's, public, access point. Chief's office needs to see / control access points into building.

1. Main entrance:
  - a. Incorporate an air-lock vestibule for energy efficiency.
  - b. Be constructed with clear glazing elements for safe circulation and inviting character.
  - c. Serves as a control point for access and group control.
  - d. Accommodate ## people, for outreach programs, where ## may vary per station.
  - e. Coordination space in post-disaster scenario (space for 1-2 folding tables).  
The active fire fighter entrance is a separate point of access, restricted to the public.
2. Universal toilet:
  - a. Facilities to OBC requirements.
3. Corridor / focus wall:
  - a. Memorabilia: wall for photos, awards, plaques.
  - b. Provide partition blocking only.

Finishes: durable, some sound absorbing, and easily maintained.

## **6. Administrative Area:**

Ideally, the administration / firefighting areas should have their own separate heating, ventilating, air conditioning (HVAC) and exhaust systems such that administrative areas have relative positive pressure and other areas have negative pressure. The administrative wing's environmental conditions remain consistent, controlled to daily cycles.

### **4. Captain / Chief's Office:**

- a. Design appropriate venue for private dialogue: interviews (staff / media), and phone / online conversations. Curate backdrop to municipal branding.
- b. Minimal secure record storage, based on a focus on digital storage.
- c. Strategic reflection and small meeting accommodation.
- d. Provide line of sight (door sidelight or standalone window) to main entrance and general circulation through the station to ensure easy awareness of occupants.
- e. Ensure chief's office has direct access to apparatus bay.

### **5. Staff Office(s):**

- a. As identified per station, full-time support staff work area.
  - i. This function may be shared with other stations or other departments within the municipality.
- b. Secure record storage.
- c. Staff office(s) to execute NFD project work (research, teaching material, report writing, on-line conference). May also be unassigned workstation(s) for various NFD officers:
  - i. Captain.
  - ii. Officers.
  - iii. Fire Protection Officer.
  - iv. Chief Training Officer, per NMFP recommendation #53.
  - v. Subject matter experts / teams, (per NMFP recommendation #54.
  - vi. Regional training initiatives, per NMFP recommendations #55 and #57.

### **6. Training Room:**

- a. Serving station contingent + 3 people. NFD Staff and volunteers must complete up to 120hrs, per annum, of training; NMFP recommendation #51.
- b. AV equipment for presentations, WIFI, and a few network connections.
- c. Storage closet for safety training collateral and equipment.

### **7. Toilet Facilities:**

- a. Provide to OBC requirements, serving designed occupant load capacity.

### **8. Kitchenette Facilities:**

- a. Provide kitchenette only: microwave, refrigerator, counterspace, coffee maker, toaster, and casework cabinets for storage. Provide a kitchen, with stove, for 'Hub' stations only.

Glazing: given that volunteer fire fighter stations are not continuously occupied, strategically located windows, with daylighting units, ensures safe lighting levels while reducing power consumption and increasing thermal resistance of building envelope (relative to typical insulated glass units (IGU). Transparent glazing units should be provided to ensure visibility where required and view to natural setting where appropriate to support healthy human experience.

Finishes: durable, some sound absorbing, and easily maintained.

## **7. Apparatus Bay:**

Subject to major exhaust of air volumes when the garage doors open, the apparatus bay must have separate, more robust, equipment capable of conditioning large air volumes.

### 1. Main apparatus garage:

- a. 3m x 4.265m high (10'x14') garage door per bay. Given the sporadic use (relative to high-use metropolitan station), only front-facing doors are required. Apparatus can be presumed to be reversed into parking locations after use. Lower doors may be appropriate for multi-bay stations where smaller apparatus are planned to be parked. Where design allows, it may be beneficial to plan for higher structural openings for cost-effective future renovations to suit changing needs or equipment parameters.
- b. Ensure adequate clearances relating to vehicles, equipment handling and circulation. ±5m wide bay allowances are generally good practice to suit contemporary apparatus sizes.
- c. No ceiling is required. Exposed structural elements are acceptable. Clearance to underside of structural and building services' elements should be ±4.3m high.
- d. Direct access from parking, through the PPE storage, for quick volunteer fire fighter access to gear / vehicles. Air-lock vestibule is not required, here, as the garage doors' opening render energy conservation a moot point. Safe, but fast, access is a priority.
- e. It is best practice to have separate decontamination and bunker gear rooms with direct access to apparatus bay.
- f. Provide inconspicuous, but easily accessible, location for building's oil and grit interceptor.
- g. Vehicle exhaust systems is not required, or design space and services for future implementation. Municipal fire fighting guidelines should be aligned to vehicle start-up protocols to suit indoor air quality upon mobilization. Vehicles shall not be left idling indoors at any time. Fixed carbon monoxide sensors shall be provided.
- h. In-floor radiant heating is preferred as cost-effective, and technically efficient, solution to provide a heatsink for complimentary heating sources to recover the space quickly after all overhead doors are opened for a response or for parking equipment.

Glazing: given the very long-term life cycle of a fire station, daylighting strategies may be cost-effective solutions for lighting large garage space (mitigating risks associated with skylights) – simultaneously reducing electricity consumption and ensuring permanently improved thermal barrier (higher resistance to energy loss). Roof overhangs should be provided to mitigate heat gain in summer months.

Finishes: Industrial, long-wearing, epoxy flooring, water resistant / repellent. Finishes shall be light-coloured to better reflect light throughout the space. Provide trench drains below apparatus parking with appropriate slopes to ensure quick and safe handling of melting snow and cleaning water.

## **8. PPE Handling Area:**

NMFP Recommendation #30 suggests each fire fighter be issued two sets of bunker gear (light / heavy duty types).

1. Locker Room:
  - a. Individual, assigned, 2-tier lockers.
  - b. Enough shower capacity for all firefighters, taking turns for a quick rinse.
2. Decontamination Room:

Space relationships should enable the decontamination area to be accessed directly from the apparatus bay where firefighters can undress, shower, and access extractors and dryers to clean their contaminated personal protection equipment (PPE), or “bunker gear”.

  - a. PPE cleaning area, adjacent to maintenance workshop is beneficial.
  - b. Provide washer-dryer pairs and floor-mounted mop sink(s) to suit firefighter count.
3. PPE Storage Room (separate from apparatus bay)
  - a. Located immediately next to apparatus bay, cleaned bunker gear is stored in separate room to off-gas properly after cleaning. Provide appropriate ventilation.
  - b. Storage lockers organize all gear for quick access and charging battery-powered devices.
  - c. Should have direct parking lot access for quick volunteer firefighter response.
  - d. Provide fixed, wall-mounted, screen for firefighting on-line application tracking.

## **9. Support Spaces:**

1. Building services' room:
  - a. Main electrical equipment, panel(s).
  - b. Provide mounting space, on exterior wall, for IT services, access control devices, CCTV and other systems' control devices.
  - c. Water service equipment, including domestic and process hot water systems.
  - d. Compressed air system equipment.

All equipment shall have adequate space for operational clearances, maintenance, and replacement access.
2. Janitor room:
  - a. Supports facility cleaning and consumables' maintenance.
  - b. Some fire stations also serve as central hubs, for other municipal stations, and may need to incorporate larger storage areas.
3. Self-Contained Breathing Apparatus (SCBA) room (Station 100):
  - a. Needs access to exterior wall (roof not recommended), for fresh air intake at high-level away from vehicle, and other types of, exhaust. Locate interior access adjacent to apparatus bay for ease of equipment handling.
  - b. Secure, sound attenuating, partition mitigating compressor noise.
  - c. NFD currently uses, at Station 500, MSA Firehawk SCBA (4,500 psi) equipment to be replaced before 2029. NFD continues to monitor advances in SCBA technology as well as SCBA purchases by mutual aid partners. The space should accommodate various systems to be installed.
  - d. Each firefighter should have their own personal facemask, relates to NFD SCBA OG #12.
4. Small Maintenance Workshop Area:
  - a. 2-3m long work bench with cabinet storage for small engine, equipment / component, and minor vehicle repairs.
  - b. Provide sink to support SCBA maintenance processes.
  - c. Ideally located adjacent to apparatus bay and SCBA room, where present.

5. Equipment Storage:
  - a. Shelving for small equipment (saws, spare gear, consumables, materials).
  - b. Other equipment to support water / ice rescue support equipment.
6. Emergency generator (enclosed exterior / interior / rooftop).
  - a. Building service loads shall be supported by emergency generator.

Provide floor drains wherever water is present in the room. All drains route through the oil and grit interceptor, generally located in apparatus bay for easy maintenance access.

Finishes: utilitarian, low maintenance, no ceilings required. Acoustic performance constrained to limiting any equipment noise propagating to any adjacent occupied spaces.

#### **10. Hose Drying Tower (for Hub Station 100.1)**

Some fire stations have hose drying towers. These are, essentially, concentrated capital expense concentrated onto a relatively small area of the building with hoisting equipment to manage hose movement.

4. Functional Requirements: Station 100. St. Isidore

Description	Quantity	Area (m²)	Recommended Conditions, per Master Fire Plan		Area (m²) Comments		Area (m²) Comments	
			Area (m²)	Comments	Area (m²)	Area (m²) Comments	Area (m²)	Area (m²) Comments
<b>100.X Overall</b>			<b>16,281</b>					
<b>1. Site Development</b>			<b>16,281.2 m² = 4.02 Acres minimum</b>					
1.1 Setbacks + Landscaping	-		4,000.0	Allowance similar to 6.				Existing services remain. Plumbing and electrical conditions to be improved.
1.2 Septic Field Allowance	1	1500.0	1,500.0					
1.3 Driveway Allowance	1	125.0	125.0					
1.4 Stormwater Management Allowance	1	5000.0	5,000.0	±9m on perimeter of ±2 acres				
1.5 Drilled Well Allowance	1	9.0	9.0	33m from septic field				
1.6 Building Perimeter Clearance	1	821.6	821.6	±5m on perimeter of building				
Contingency Allowance	5%		572.8	Allowance for clearances, turning, etc.				
<b>2. Exterior Areas</b>			<b>2,565.3 m²</b>					
2.1 Apparatus bay apron	5	130.0	650.0	5m x 26m long each. Not drive-through.				Existing poor conditions remain...
2.2 Parking: Chief	1	17.1	17.1					
2.3 Parking: Fire Fighters	30	17.1	512.4					
2.4 Parkng: Visitors	5	22.0	109.8	BF spaces				
2.5 Bicycle Rack	2	15.0	30.0	LEED Accreditation...				
2.6 Signage / Flags	1	30.0	30.0					
2.7 Building Services	1	18.0	18.0					
2.8 Training Area	1	400.0	400.0	Hub Stations only.				
2.9 Patio Area	1	150.0	150.0					
2.10 Parking: Circulation	36	18.0	648.0					
<b>3. Building Foot Print</b>		<b>1467.4 m² + 15%</b>	<b>1,687.5 m²</b>		<b>402.5 m² + 15%</b>	<b>462.9 m²</b>	<b>482.0 m² + 15%</b>	<b>554.3 m²</b>
Public Realm		83.6			22.6		0.0	
3.1 Main Entrance	1	25.0	25.0		-14.2	10.8		
3.2 Universal Toilet Circulation (20%)	1	13.0	13.0		-6.9	6.1 BF WR, not Universal		Non-conforming.
Administrative Area		418.6			155.2		0.0	
4.1 Dispatch Room / Office	1	10.0	10.0		-10.0	0.0 N/A		
4.2 Chief's Office	1	15.0	15.0		0.9	15.9		
4.3 Staff Office	1	10.0	10.0		-10.0	0.0 N/A		
4.4 Training Room	1	65.0	65.0	±1.85m² x 20 people + 5m² storage	10.6	75.6		Up to 30 future people.
4.5 Public Toilet Facilities	2	35.0	70.0		-43.3	26.7 Showers		
4.6 Kitchen Facility	1	18.0	18.0		-8.9	9.1		
4.7 Office / Records Storage Circulation (20%)	1	5.0	5.0		4.9	9.9		
Apparatus Bay		500.0			173.6		291.2	-208.8
5.1 Apparatus Garage	5	100.0	500.0	Bay = 5m x 20m (16' x 65')	-326.4	173.6 Too small	EX	173.6 Clearance issues.
Public Works Bay			0.0			Public Works Bay	EX	117.6 Clearance issues.
PPE Handling		198.0			28.5		90.0	-108.0
6.1 Decontamination Room	1	30.0	30.0		-1.5	28.5 In apparatus bay.		34.0
6.2 PPE Storage Room	30	2.0	60.0		-60.0	0.0 N/A		56.0
Circulation (20%)	1	108.0	108.0		-108.0	0.0 N/A		
Support spaces		267.2			22.6		100.8	-166.4
7.1 Building Serices' Room	2	25.0	50.0		-43.1	7.0 3 Non-conforming	EX.	15.2 ELEC + MECH room.
7.2 Janitor's Room	1	6.0	6.0		-6.0	0.0 N/A		6.0
7.3 SCBA Equipment Room	1	5.0	5.0		-5.0	0.0 N/A		4.4
7.4 Small Maintenance Workshop	1	15.0	15.0		0.7	15.7 In apparatus bay.		28.6
7.5 Equipment Storage	1	10.0	10.0	+ hose drying tower.	-10.0	0.0 N/A		19.6
7.6 Emergency Generator	1	15.0	15.0		-15.0	0.0 N/A		0.0 Existing Exterior.
7.7 Waste and Recycling Storage	1	4.0	0.0	NFD: Not req'd.	0.0	0.0 N/A		0.0 NFD: Not req'd.
7.8 Lockers	30	1.5	45.0	1.5m² / person	-45.0	0.0 N/A		27.0
Circulation (20%)	1	121.2	121.2		-121.2	0.0 N/A		0.0 N/A

Above is recommendation. Cost estimate for Station 100.1 presumes 75% of this area, based on Station 400.1 design austerity, reviewed with NFD.



## 5. Functional Requirements: Station 400.1 St-Albert

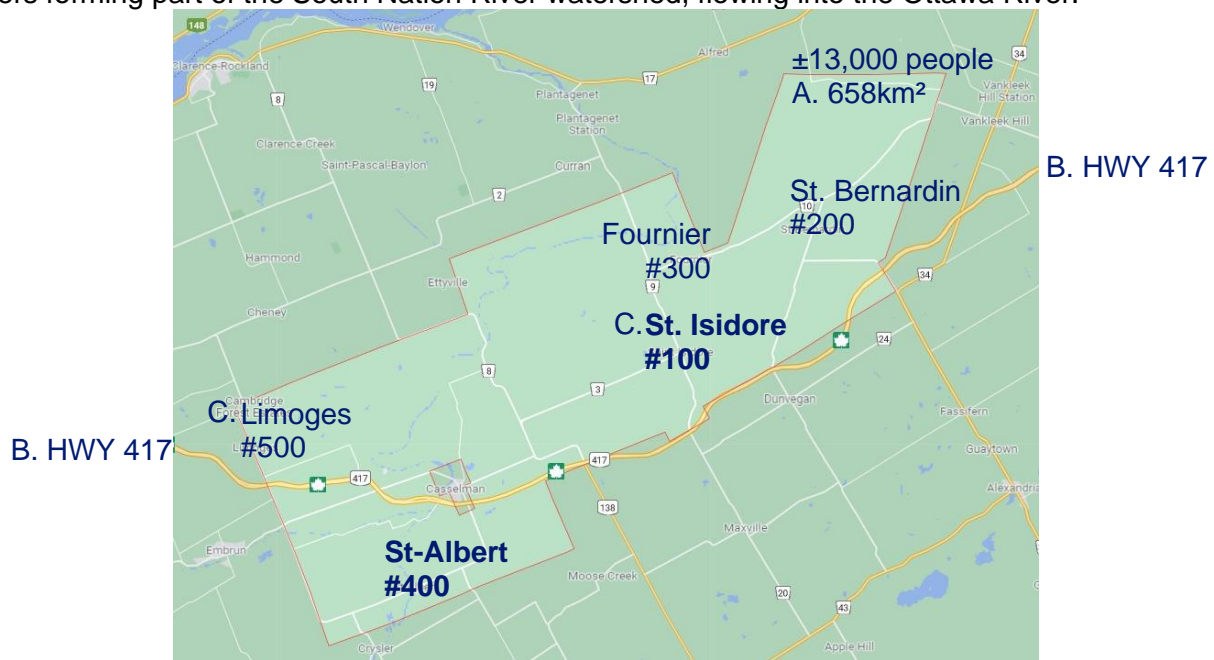
Description	Quantity	Area (m <sup>2</sup> )	Area (m <sup>2</sup> )	Comments
<b>400.X Overall</b>			<b>14,443</b>	
<b>1. Site Development</b>			<b>14,442.6 m<sup>2</sup> = 3.57 Acres minimum</b>	
1.1 Setbacks + Landscaping	-		4,000.0	Allowance
1.2 Septic Field Allowance	1	1270.0	1,270.0	
1.3 Driveway Allowance	1	125.0	125.0	
1.4 Stormwater Management Allowance	1	5000.0	5,000.0	±9m on perimeter of ±2 acres
1.5 Drilled Well Allowance	1	9.0	9.0	33m from septic field
1.6 Building Perimeter Clearance	1	713.0	713.0	±5m on perimeter of building
Contingency Allowance	5%		725.0	Allowance for clearances, turning, etc.
<b>2. Exterior Areas</b>			<b>1,329.6 m<sup>2</sup></b>	
2.1 Apparatus bay apron	2	130.0	260.0	5m x 26m long each. Not drive-through.
2.2 Parking: Chief	1	17.1	17.1	
2.3 Parking: Fire Fighters	20	17.1	341.6	
2.4 Parknig: Visitors	3	22.0	65.9	BF spaces
2.5 Bicycle Rack	1	15.0	15.0	LEED Accreditation...
2.6 Signage / Flags	1	30.0	30.0	
2.7 Building Services	1	18.0	18.0	
2.8 Training Area	0	400.0	0.0	Not for Satellite Station.
2.9 Patio Area	1	150.0	150.0	
2.10 Parking: Circulation	24	18.0	432.0	
2.11 Propane / Gas Storage	0	5.0	0.0	Not for Satellite Station.
2.12			0.0	
2.13			0.0	
<b>3. Building Foot Print</b>			<b>1,271.0 m<sup>2</sup></b>	
<b>Public Realm</b>			<b>83.6</b>	
3.1 Main Entrance	1	25.0	25.0	
3.2 Universal Toilet	1	13.0	13.0	
Circulation (20%)	1	45.6	45.6	
<b>Administrative Area</b>			<b>369.6</b>	
4.1 Dispatch Room / Office	0	10.0	0.0	
4.2 Chief's Office	1	15.0	15.0	
4.3 Staff Office	0	10.0	0.0	
4.4 Training Room	1	65.0	65.0	±1.85m <sup>2</sup> x 20 people + 5m <sup>2</sup> storage
4.5 Public Toilet Facilities	2	35.0	70.0	
4.6 Kitchen Facility	1	18.0	18.0	
4.7 Office / Records Storage	1	5.0		NFD: Not Req'd.
Circulation (20%)	1	201.6	201.6	
<b>Apparatus Bay</b>			<b>300.0</b>	
5.1 Apparatus Garage	3	100.0	300.0	Bay = 5m x 20m (16' x 65')
			0.0	
<b>PPE Handling</b>			<b>132.0</b>	
6.1 Decontamination Room	1	30.0	30.0	
6.2 PPE Storage Room	15	2.0	30.0	
Circulation (20%)	1	72.0	72.0	
<b>Support spaces</b>			<b>220.0</b>	
7.1 Building Serices' Room	2	25.0	50.0	
7.2 Janitor's Room	1	6.0	6.0	
7.3 SCBA Equipment Room	1	5.0	0.0	NFD: Not Req'd.
7.4 Small Maintenance Workshop	1	15.0	15.0	
7.5 Equipment Storage	1	10.0	10.0	
7.6 Emergency Generator	1	15.0	15.0	
7.7 Waste and Recycling Storage	1	4.0	4.0	NFD: Not Req'd.
Circulation (20%)	1	120.0	120.0	

Above is recommendation. Actual design has been conceived per NFD detailed comments – yielding a smaller building footprint.

## F. Fire Station Locations

### 1. La Nation Context

The municipality of La Nation is a constellation of 17 villages, almost 45km long, where 13,000 people live on 658km<sup>2</sup>. 70% of its territory is agricultural lands. There are 572 businesses, quickly accessible, through 5 exits, along the provincial divided highway 417. The municipality is criss-crossed by a matrix of rural concessions, and County roads, skipping over various creeks and rivers forming part of the South Nation River watershed, flowing into the Ottawa River.



Unique conditions for NFD service:

- Relatively large service area**, response distances, relative to population / tax base.
- Added highway 417 service.**
- Volunteer fire fighter** succession planning vs concentrated urban population growth. The expected available volunteer core is expected to shrink from rural fire stations. **NMFP recommends 'Hub' Stations be located at #100 (non-conforming) and #500 (existing).**

### 2. Site Selection

La Nation has confirmed the site locations to be analyzed in this report. The project budget should include for all related land acquisition, development costs and investigation fees. Each site will have its own characteristics impacting costs and schedule.

Given the area's cyclical seasonal flooding, high-water levels should be considered in future designs and costing allowances integrated into preliminary budgets.

## G. Current Conditions

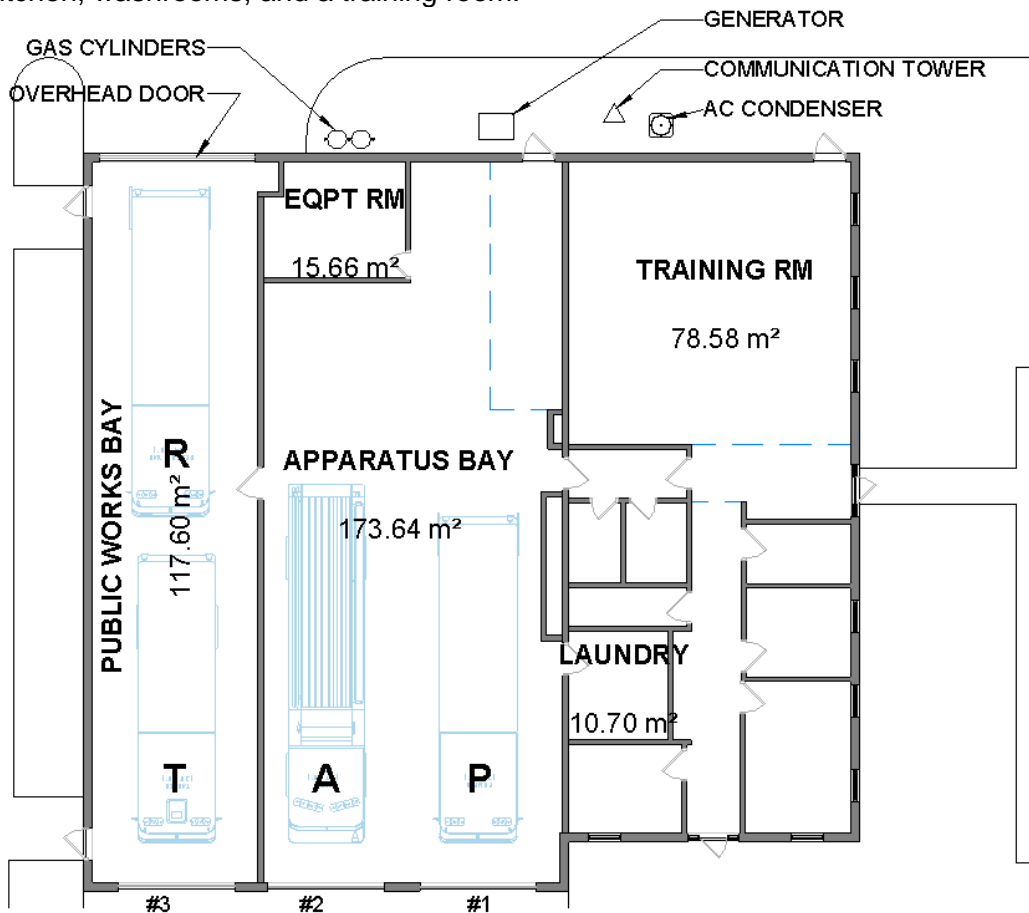
### 1. General Common Conditions

Both fire stations have major non-conforming conditions. Not the least of which is the post-disaster structure contemporary requirement. This performance characteristic mainly applies to structural system, which is not limited to roof, columns, cross-bracing, and includes foundations and footings. This characteristic also applies to fixed-in-place components and equipment. For typical buildings, this can be a cost-prohibitive retrofit. For fire stations, operational 24/7, such renovations represent major swing space solutions and related systems' impacts.

Neither station have hose drying infrastructure nor segregated decontamination and bunker gear (PPE) storage rooms. The Nation Master Fire Plan (NMFP) appendix of fire station conditions provides an analysis matrix for each station. Some information herein is based on this matrix.

### 2. Station 100 St. Isidore

The station was constructed in 1986 as 1 double bay for public works garage, 2 double bays for fire station and a library. In 2018, renovations removed the library to provide Fire Department offices, kitchen, washrooms, and a training room.



The Nation Master Fire Plan recommends (Appendix 2):

*The number and size of the apparatus bays **will not accommodate** the designated apparatus and ancillary vehicles including the rescue boat and Light Rescue Utility Truck. The **location is poor** as it is proximate to the arena and an **intersection that can be congested**.*

***Recommend immediate replacement and relocation** as a three double bay station (same as Station 500) north on Route 9.*

## G. Current Conditions (continued)

## **2. Station 100 St. Isidore**

### **1. Function Gap:**

1. The building design never provided for post-disaster performance.
2. The large apparatuses (pumper, rescue, and tanker trucks) do not have adequate safety clearances for employee and volunteer safety.
3. There are no isolated decontamination facilities for long-term safety.
4. There is no separate PPE storage for long-term safety.

### **2. Architecture:**

Station 100 should be rebuilt in a more accessible location. However, with other priorities, the Municipality advises that costs for a new construction need to be extended into a farther future. The proposed solution is to renovate the apparatus bay and add a small extension to provide functions supporting employee / volunteer health and safety (decontamination/bunker gear storage).

### **3. Civil Context / Services:**

#### *Service Apron:*

28m long, exceeding min. recommendation. The existing asphalt is noted, in NMFP, as “in good shape”.

#### *Access to major road:*

Faces a secondary road with two stop signs before reaching main downtown street. Main egress route travels by the recreation centre main parking entrance, which presents occasional delays and risks to NFD and public. The street needs to be blocked to reverse the fire trucks into station. No drive-through bays.

#### *Parking:*

No specific parking reserved for volunteer fire fighters. Parking is shared with recreation centre. This causes traffic and access issues for NFD during recreation events.

#### *Water / Sewer:*

NMFP appendix matrix confirms existing fully serviced municipal water supply and sanitary system. NMFP notes **smells emanating from sink and shared drainage with Public Works garage bay.**

#### Pression / Débit

Pression statique : 62 psi  
Pression résiduelle : 55 psi  
Énergie de pression : 26 psi  
Instrument utilisé : PTL-03 Pitot Akron Brass 9015

Débit mesuré\* : 768 gal. (US) / min  
Débit estimé à 20 psi : 2021 gal. (US) / min  
Embout utilisé : 2 1/4"

\*Le débit n'est pas mesuré selon la norme NFPA 291.

## **G. Current Conditions** (continued)

### **2. Station 100 St. Isidore**

#### **4. Structural Context:**

Substructure described in detail in Appendix D Structural Design Brief, prepared by Cleland Jardine Engineering Ltd. (CJE Ref #: 21-0259), for context and construction.

NMFP notes the building was built in 1986. Some PDF drawings are available. **Apparatus bay concrete floor in poor condition, drains need replacing.** Concrete block with metal cladding walls. **NMFP notes blocks are deteriorating.** Wood truss roof with asphalt shingles. **NMFP notes "lose shingles every year"**. Building is not designed to post-disaster performance criteria.

#### **5. Mechanical Services:**

##### *HVAC*

Office Area;

- The Office Wing has relatively new mechanical equipment (2018) in decent condition and is proposed to remain as is.
- Existing HRV for the office area is proposed to remain as is.

Apparatus Bay;

- Each bay has an exhaust fan and louver which were not operational.
- Ceiling fans are present but would need to be updated.
- Propane fired unit heaters are present for heating in both NFD bays.
- No gas detection systems are currently in place in garage bays.
- Air conditioning is not available in the existing garage spaces.

##### *Plumbing*

The building is currently serviced by municipal domestic and sanitary services as follows;

- Existing plumbing system within the office areas is considered acceptable, to remain as is.
- The existing propane fired water heater is considered acceptable, to remain as is.
- Existing trench drainage, in the bays, is in very rough condition.
- A CCTV camera inspection of the city infrastructure is available, and one may be required for internal building drainage in preliminary design. Garage area piping to be replaced.
- Incoming water appears to be 1.5", in diameter. This is adequate without truck filling load.
- Existing hose bibs are present around the perimeter and in NFD bays.
- Some existing compressed air is provided.
- Existing propane tanks are located at the back of building.

## **G. Current Conditions (continued)**

### **6. Electrical Services:**

#### *Hydro Service*

The current facility's incoming service consists of a 600V 400A three phase service that is routed underground from a Hydro One power pole located in front of the building, on De l'Arena St. The service equipment is located in a closet within the main apparatus bay. The 600V service is stepped down to a 240/120V single phase system to power the building. The townships water tower behind the facility is also powered from this service through a series of 37.5kVA single phase step-up and step-down transformers. This condition is not ideal as the main distribution equipment is located in an area that can be subject to splashing when washing the vehicles and does not conform to the required Ontario Electrical Safety Code clearances, when the vehicles are parked within the bay.

The distribution equipment should be relocated to a dedicated electrical room.

#### *Power*

In addition to the main service, the building has a 240/120V single phase 20kVA standby generator, located behind the building, that provides back-up power to the entire facility, including the municipal water tower. This generator feeds the main distribution equipment through a 240/120V Kohler ATS switch downstream of a 240/120V step-down transformer fed from the incoming service. The main distribution equipment consists of a mixture of original equipment from when the building was constructed in 1986 and new equipment installed in 2018 as part of the facilities renovation. The original 1986 equipment is reaching its end of life and should be removed and replaced during the re-location of the service.

#### *Lighting*

The lighting within the facility consists of a mixture of fixtures from the original 1986 build and the 2018 renovation. The administration area that was renovated in 2018 incorporates LED flat panels and pot lights throughout the space that are currently in good condition. The public works garage bay and fire station apparatus bay consist of outdated fluorescent fixtures in which the ballasts would be approaching end of life. It's recommended that the fluorescent fixtures be removed and replaced.

#### *Communications*

The communication systems for this building are provided from three separate locations. Internet is provided to the facility from the water tower via a fibre cable routed underground. The phone lines are also routed underground from a bell pedestal located on De l'Arena St. in front of the facility. The phone lines terminate within the apparatus bay and like the incoming service are not in an ideal location and should be relocated. Lastly, the fire station has a communication tower behind the building that houses a cell phone repeater for the community and an antenna for the fire stations radio system which is routed inside via coax cable within conduit.

### **7. Current Conditions' Conclusion**

The existing conditions, at St-Isidore Fire Station' apparatus bays and support functions, need to be upgraded, as soon as possible, to ensure safe, healthy, workplace setting for employees and volunteer firefighters.

## G. Current Conditions (continued)

### 3. Station 400 St-Albert

#### 1. Function Gap:

1. The station was constructed in 1976. It is centrally located in the village but is an extremely small site with no parking available for responding volunteers.
2. Firefighters must park on the main street, which represents a significant hazard when responding to an emergency. The two bays are extremely small with insufficient space to safely accommodate conventional pumpers or tankers. There is no dedicated decontamination area or bunker gear storage.
3. This building is no longer serviceable as a fire station and needs to be rebuilt as soon as possible. In the interim, until a new station is built, this Station must be limited to no more than two apparatus and special procedures need to be developed and implemented to address firefighter safety when parking, when present in the apparatus bay and when starting, moving or backing-in apparatus.

#### 2. Current Conditions' Conclusion

The Nation Master Fire Plan recommends (NMFP Appendix 2):

*This building is **no longer functional as a Fire Station** due to its small apparatus bays, lack of parking, and construction. **Recommend immediate replacement and relocation as a two-bay station approximately 2 to 3 km N/E on the St. Albert Rd.***

## H. Design Concepts Station 100

### 1. Station 100 General Characteristics:

Building conditions were somewhat improved for the administrative functions, the 2018 renovations did not resolve conditions to provide a long-term, safe workplace compliance. NFD Chief advises that exhaust gases capture systems are not required as NFD policy outlines that equipment shall be parked outdoor when left idling. Upon detailed review with NFD and current conditions, additional showers (NFMP #21) were deemed acceptable to be deferred towards the new station. The NFMP enumerates principal apparatus and support vehicles:

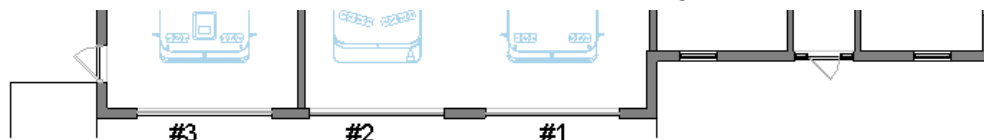
<b>Pumper</b> 100 - International 4900	<b>Tanker</b> 100 - International 7400
<b>Rescue</b> 100 - International 4400	Public Education Trailer
Training Trailer	Service 200 - Ford E Van
	C-1 Chief's Truck F-150

**Station 100.0 is outlined herein as a stop-gap measure**, minor renovations, and addition, could be implemented immediately (NFMP#21), to resolve the apparatus bay functions. **Such measures would still not provide all the functions of a 'Hub' Station (NFMP#19) and would not be conforming to post-disaster criteria. This does not propose any major layout modifications to 2018 Works.**

#### Potential stop-gap renovations and addition could be:

##### A. Minor renovations:

1. Demolish demising partition between NFD apparatus bay and Public Work Bay.
2. Expand overhead door #2 and #3 to be 14' high.



3. Repair concrete floor, trench drains.
4. Repair and make good all existing finishes.

##### B. Remove all electrical panels and high-voltage equipment from apparatus bay space.

##### C. Remove interior partitions to allow space for more NFD vehicles within apparatus bay.

##### D. Minor addition for:

1. Personal protection equipment (PPE) storage.
2. Decontamination room
3. Equipment maintenance room, including SCBA equipment and elec. equipment.
4. Any HVAC equipment could be rooftop-type on new addition.

**Station 100.1 outlines concept for Nation to undertake a new fully compliant 'Hub' Station.**

### 2. Design Occupancy Loads

Based on the Nation Master Fire Plan (NMFP, Draft 4) Table 14: Current and Proposed Station Staffing, Station 100 St. Isidore should have a total of 24 fire fighters (all inclusive).

While NMFP Section 7.5.2. "Future Organization" describes community growth and streamlining NFD organizational leadership, it describes "...augmenting current staffing with dedicated administrative support..." and "...full-time Fire Prevention Officer is necessary...", recommendation # 62 describes a Nation task to assess on-scene staffing.

Table 17: Proposed NFD Staffing 2020 – 2023 indicates a stable staffing, through to 2025. **For purposes of design planning, design occupancy capacity should be 30 people.** (Applies to Reserved parking, decontamination room, size of training room and kitchen...)

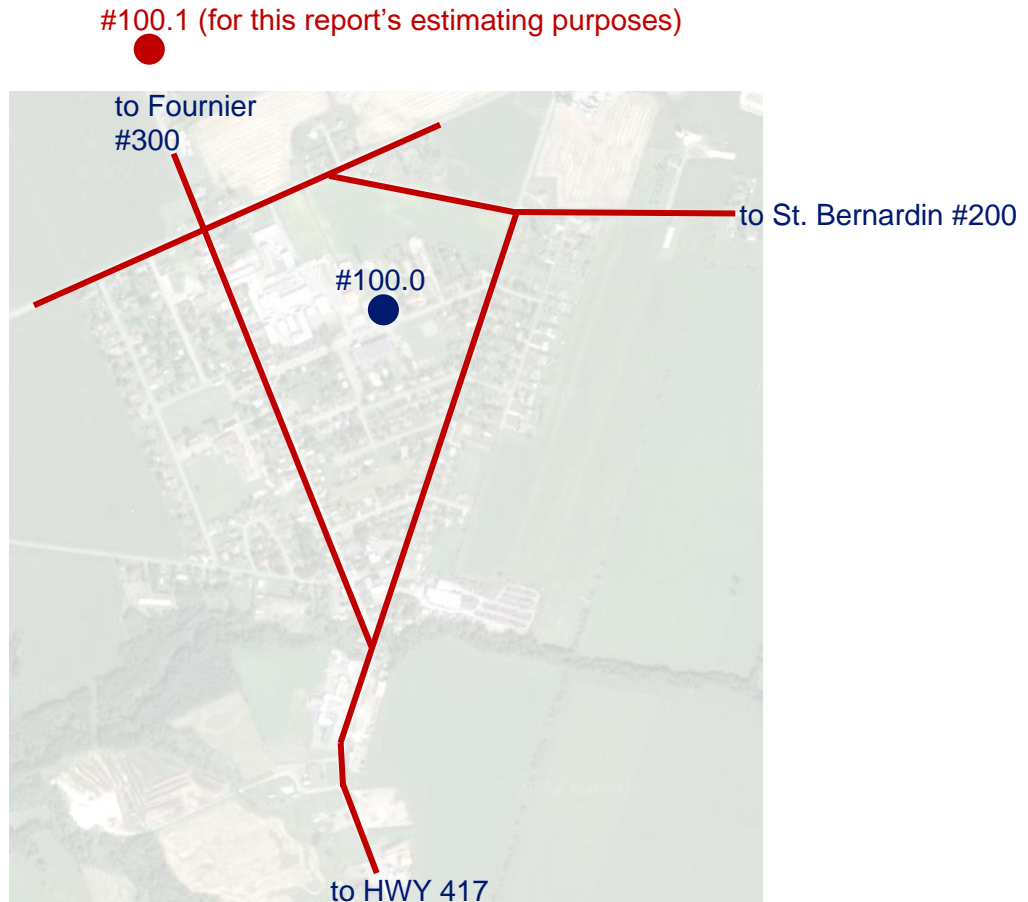
## 2. Station 100 Location Overview

Located in the east sector where there are over **100 farms and 3 large industrial and manufacturing businesses** (propane distributor, doors & windows, and gardening products), all located south of village. La Nation's Master Fire Plan proposed it be, along with station 500 in Limoges, **a hub station**.

The current location presents challenges:

1. Volunteers potentially slowed in reaching trucks by village traffic & no reserved parking.
2. Trucks potentially slowed in responding by village traffic & no reserved parking.
3. Risks of 'contact' incidents may be increased to/from an urban setting vs peripheral or industrial park location.

Location map:



**#100.0 Current location:** urban setting, potentially constricted access / parking. Swing spaces and service impacts to municipal water tower and regional emergency communication services will need be planned and managed (additional costs).

**#100.X Hypothetical site (undetermined):** along main arterial circulation. Existing municipal services available along the street. Most direct access to north, or south, emergencies. This option should yield lessor construction costs

**#100.1 Hypothetical site (undetermined):** along a main arterial circulation route. For project budget planning, worse-case assumptions should be carried until confirmed otherwise: **requires new drilled well** and considerable **earthen fill** to raise development pad, and required **large septic field**, above the potential seasonal flood levels (**additional costs**).

### 3. Station 100.0 Renovation Concept

This option provides the missing functions by locating the addition on west of building.

#### Positive Impact

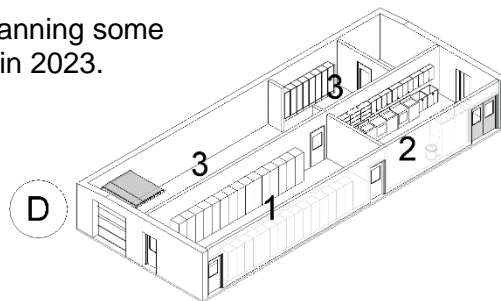
- New electrical equipment:
  - Fed underground (D3).
  - Access to exterior walls.
- Provides safe floor surface.
- Provides indoor equipment parking.
- AC / Gas / Gen. functions ±remain as is.
- Many connections to apparatus bay.
- SCBA workshop connection trucks / exterior.

#### Less-desirable Impact

- Minor interruption of communication service.
- Functions separated by apparatus bays.
- **Does NOT resolve all basic functions of a Hub Station for this area.**

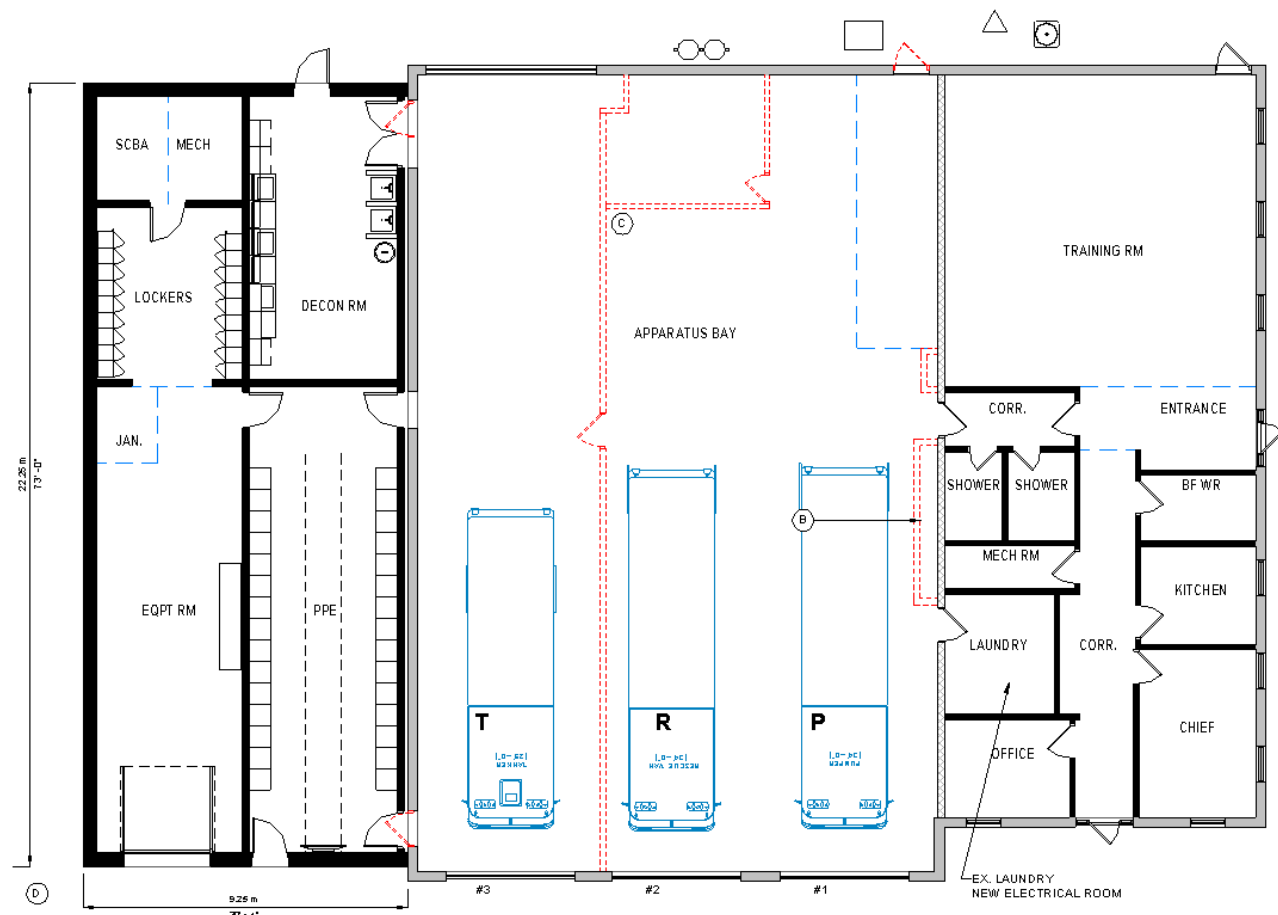
Given that this location is not a viable long-term solution for NFD services, in order to provide a cost-effective strategy, Nation should provide direction regarding potential future function of this asset to renovate in short term with long term functions in mind to mitigate more, costly, interventions following the relocation of NFD function away from this building.

Nation is planning some Civil works in 2023.

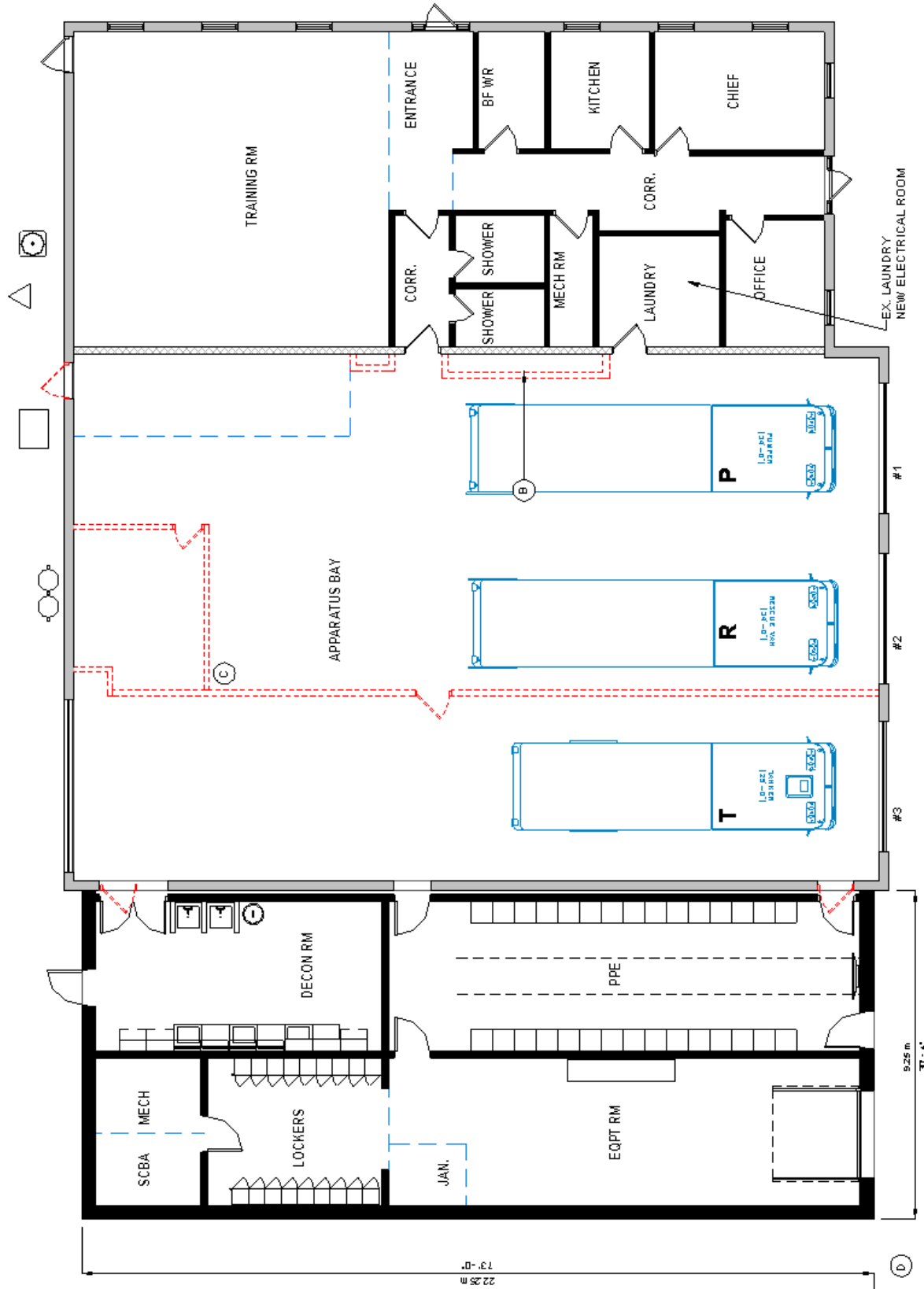


#### Stop-gap interventions:

- Minor renovations.
- Remove all electrical equipment.
- Remove interior partitions.
- Minor addition for:
  - PPE storage room
  - Decontamination room
  - Lockers, SCBA, Equipment.



**Conceptual Floor Plan (rotated)**



### **3. Architecture:**

The proposed addition is a succinct intervention. Structurally, the buildings will need to be distinct (double walls), providing an expansion joint. The addition's shed roof steel cladding can lead the future re-roofing for the existing building to resolve the NMFP observations of "losing shingles". In this way, the Municipality's investment can pay-forward into the building's future functions, after NFD evolves into the mandated Hub Station elsewhere.

### **4. Civil Context / Services:**

No major changes are expected. Refer to Appendix C - Civil Design Brief.

#### *Parking:*

Beyond the cutting and patching of asphalt, to suit the new addition, parking lines will be required to be painted and some reserved signs installed to ensure volunteer firefighters have a parking space at all times.

#### *Water / Sewer:*

No significant changes expected.

### **5. Structural Context:**

Substructure described in detail in Appendix D Structural Design Brief, prepared by Cleland Jardine Engineering Ltd. (CJE Ref #: 21-0259), for context and construction.

### **6. Mechanical Services:**

#### *HVAC*

Existing Apparatus Bays (3);

- Replace components to ensure adequate ventilation to each bay.
- A new propane fired make up air would be required for new ventilation air to the bays
- Update ceiling fans in their present locations.
- Replace propane-fired unit heaters, for heating in both bays and expand to service bay #3.
- Provide new gas detection system throughout apparatus bays.

New PPE/Equipment/Lockers/Decom

- Provide a new ERV system to ventilate the new PPE & Equipment rooms.
- Provide exhaust system for the decom room.
- Provide a split-system to partially condition PPE / Decontamination rooms.
- Provide venting for the laundry equipment.

#### *Plumbing*

The building is currently serviced by municipal domestic and sanitary services.

- No changes are proposed for existing plumbing within the office areas. Contingency budget may be prudent until condition(s) are clearly understood. The existing propane-fired water heater can remain.
- Replace all bays' trench drains and provide an oil interceptor to service all bays.
- Replace all piping within the garage areas.
- Incoming water service appears to be 1.5". This is expected to be adequate if truck filling is not required. Add isolation valve / back flow preventors to incoming water system.
- Expand hose bib system, in bays, to the new bay.
- Upgrade compressed air system to service existing / new areas.
- Upgrade propane tanks to accommodate additional loads.
- Extend plumbing systems to service the janitor sink, laundry area and clean up sinks.

### **7. Electrical Services:**

### Hydro Service

The current facility consists of a 600V 400A three phase incoming service that is routed underground from a Hydro One power pole located in front of the building on De l'Arena St. The service equipment is located in a closet within the main apparatus bay. The 600V service is stepped down to a 240/120V single phase system to power the building. The townships water tower behind the facility is also powered from this service through a series of 37.5kVA single phase step-up and step-down transformers. This condition is not ideal as the main distribution equipment is located in an area that can be subject to splashing when washing the fire stations vehicles and does not conform to the required Ontario Electrical Safety Code clearances when the vehicles are parked within the bay. The distribution equipment should be relocated to a dedicated electrical room exterior of the apparatus bay.

### Power

In addition to the main service, the building has a 240/120V single phase 20kVA standby generator that provides back-up power to the entire facility including the water tower. This generator feeds the main distribution equipment through a 240/120V Kohler ATS switch downstream of a 240/120V step-down transformer fed from the incoming service. The main distribution equipment consists of a mixture of original equipment from when the building was constructed in 1986 and new equipment installed in 2018 as part of the facilities renovation. The original 1986 equipment is reaching its end of life and should be removed and replaced during the re-location of the service.

### Lighting

The lighting within the facility consists of a mixture of fixtures from the original 1986 build and the 2018 renovation. The administration area that was renovated in 2018 incorporates LED flat panels and pot lights throughout the space that are currently in good condition. The public works garage bay and fire station apparatus bay consist of outdated fluorescent fixtures in which the ballasts would be approaching end of life. It's recommended that the fluorescent fixtures be removed and replaced.

### Communications

The communication systems for this building are provided from three separate locations. Internet is provided to the facility from the water tower via a fibre cable routed underground. The phone lines are also routed underground from a bell pedestal located on De l'Arena St. in front of the facility. The phone lines terminate within the apparatus bay and like the incoming service are not in an ideal location and should be relocated. Lastly, the fire station has a communication tower behind the building that houses a cell phone repeater for the community and an antenna for the fire stations radio system which is routed inside via coax cable within conduit.

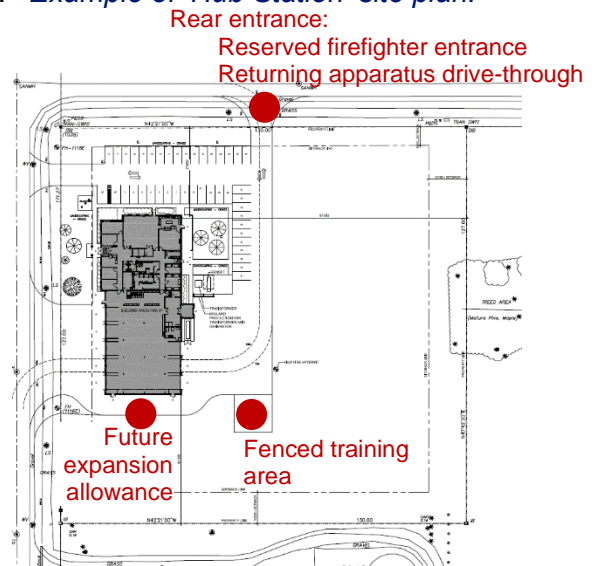
#### 4. Station 100.1 Proposed Station

As recommended in Nation Master Fire Plan, a new 'Hub' Station is required to best serve constituents in east-end of La Nation. For planning's sake, a **site selection process** should be resolved as soon as possible. In order to plan the related fiscal process, this report presumes an adequate site could be found with following characteristics: existing greenfield, agricultural, site without access to any municipal services but with electricity and communication services' access along road with typical surface-water stormwater management strategies.

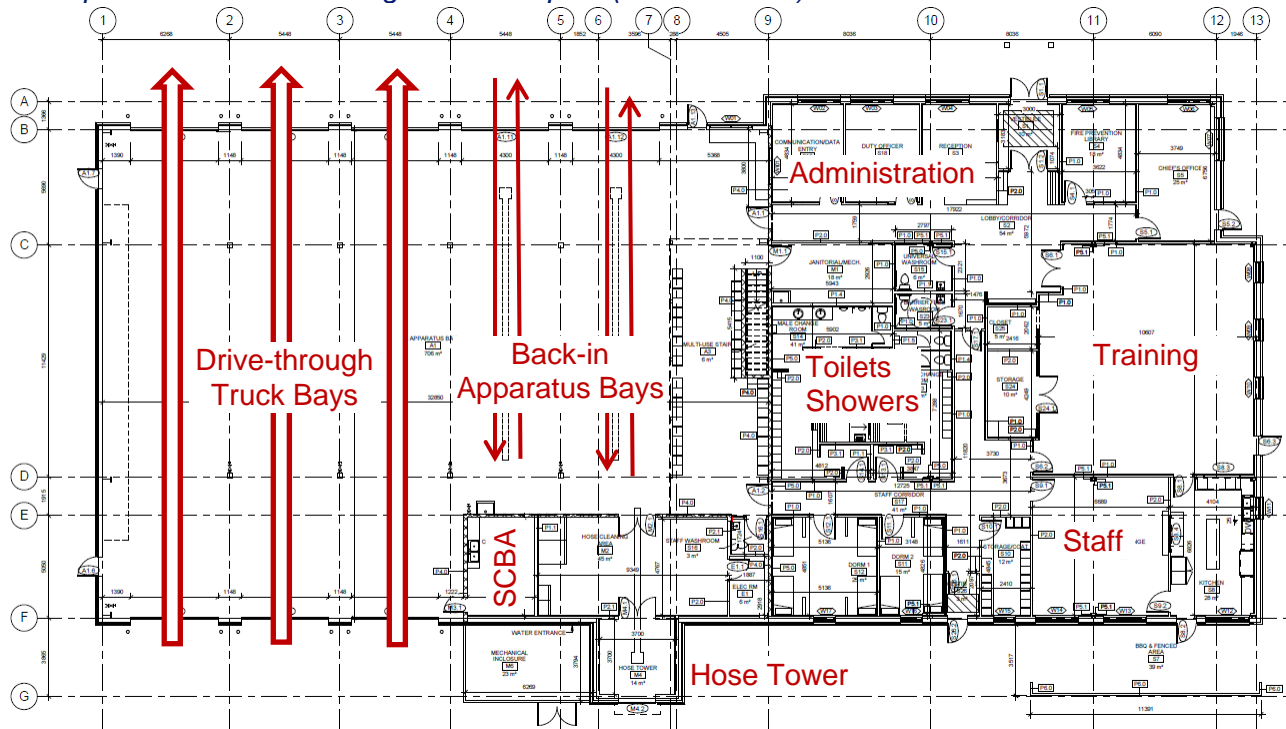
Since La Nation wish to leverage effort on short-term solutions (Option 100.0), development of Option 100.1 is extrapolated from the square foot cost of Station 400.1, with the following additional characteristics and area (for Class D estimate). *Example of 'Hub Station' site plan:*

- Characteristics for 30 firefighters.
- Hose drying tower.
- 2 additional apparatus bays (+200m<sup>2</sup>).
- Exterior, fenced, training area.
- Additional driveway area (750m<sup>2</sup>).

See Section E. Functional Requirements for conceptual design area calculations.



*Example of 'Hub' fire station ground floor plan (not estimated):*



# I. Design Concept Station 400

## 1. Station 400 General Characteristics

The NMFP makes 3 clear recommendations regarding Station 400. This fire station be relocated immediately (NFMP#21) and rebuilt as a 'Satellite' station (NFMP #19). While the NFMP may have competing information, La Nation confirms that the new station should have 3 principal apparatus:

- **Pumper** 400 - International 4900 (Pumper/Rescue)
- **Tanker** 400 - International 7400
- **Light Rescue** –F550

Per NFMP Table 15, confirmed by NFD. Once rebuilt, NFMP suggests response times be re-analysed (NFMP#22). IDEA understands that NFD has performed preliminary response time analysis informing the site selection.

Station 400.1 should comprise the following (confirmed with NFD):

- 3 Apparatus bays
- Meet post-disaster criteria
- Eye wash and decontamination shower.
- One office
- Refer to Section **F. Functional Requirements** for detailed room requirements.
- Radiant floor apparatus bay heating.
- Geothermal heating system
- Bedrock is known to be at grade and wells in the area may be difficult. Provide cistern.

Despite NFMP details, NFD confirm the following are NOT required at this station:

- Exhaust gas caption system.
- Radiant gas heating system.

## 2. Design Occupancy Load

Based on the Nation Master Fire Plan (NMFP, Draft 4) Table 14: Current and Proposed Station Staffing, Station 400 St-Albert should have a total of 16 fire fighters (all inclusive).

While NMFP Section 7.5.2. "Future Organization" describes community growth and streamlining NFD organizational leadership, it describes "...augmenting current staffing with dedicated administrative support..." and "...full-time Fire Prevention Officer is necessary...", recommendation # 62 describes a Nation task to assess on-scene staffing.

NFMP Table 17: Proposed NFD Staffing 2020 – 2023 indicates a stable staffing, through to 2025.

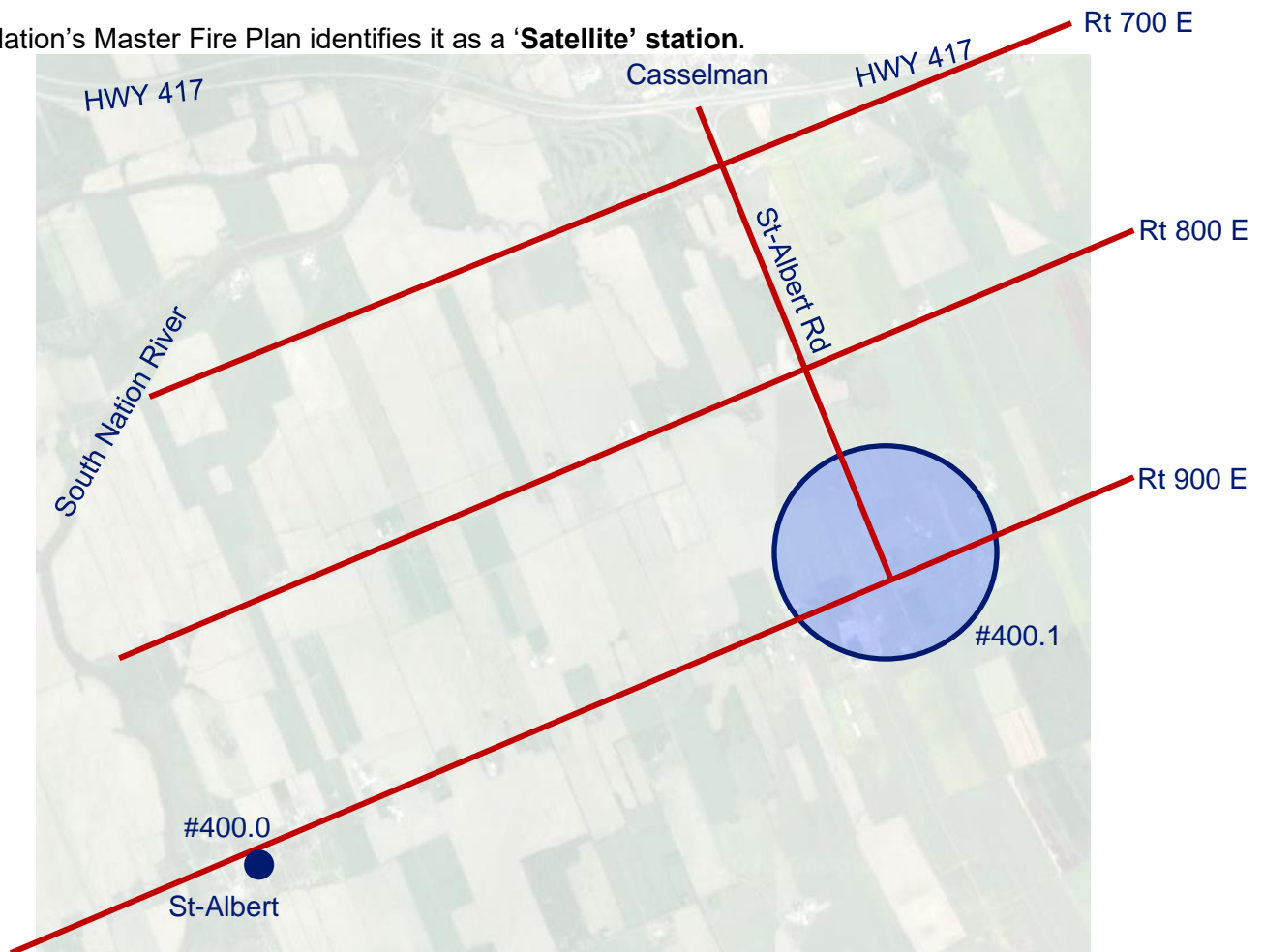
**For purposes of design planning, design occupancy capacity should be: 20 people.**

(Applies to parking, decontamination and PPE room, size of training room and kitchenette...)

### **3. Station 400 Location Overview**

Located in the southwest sector, where the **renowned cheese factory** employs over 160 people. Other notable destinations, relevant to fire protection and rescue, are a **large water park** and large **recreational forest** area as well as highway **417** and **farms** in every direction.

La Nation's Master Fire Plan identifies it as a '**Satellite**' station.



400.0: Current location within the village of St-Albert.

400.1: New ±5-acre site proposed by La Nation.

Nation should carry project contingencies related to following risks:

- Specific fire station site criteria (proximity to barns).
- Lot acquisition and related fees.
- Lot zoning changes.
- UCPR road modification applications, permits, and work.

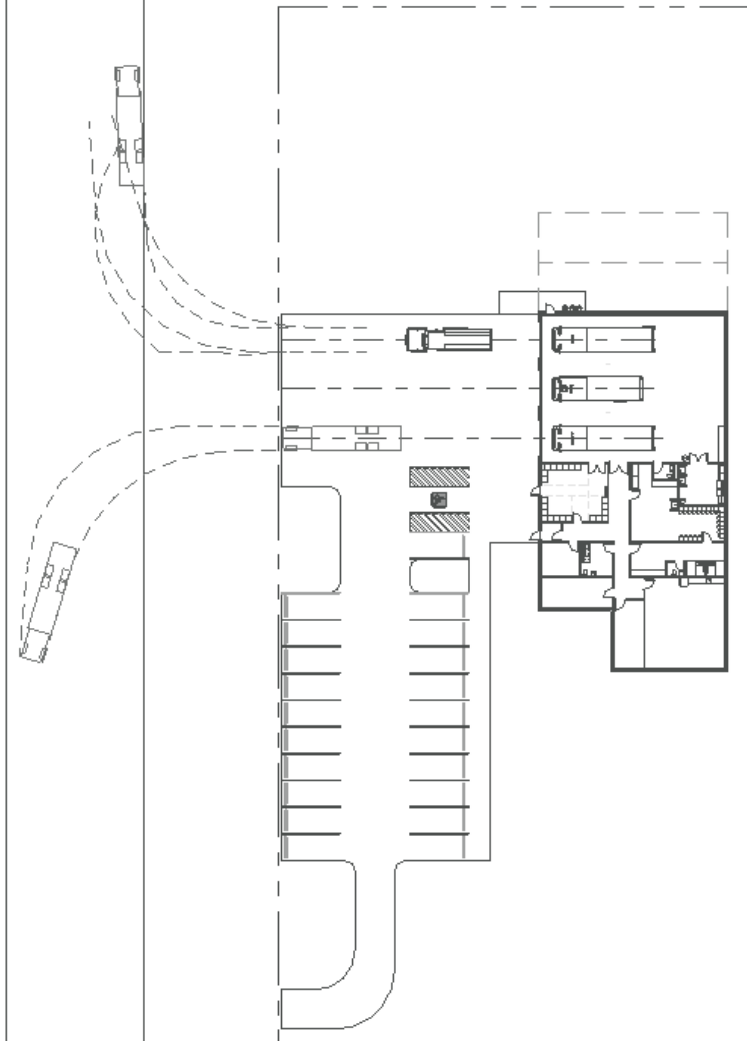
### **4. Station 400.0 Renovation (Not viable)**

Per the Nation Master Fire Plan recommendation (Appendix 2) and the existing conditions constraining Fire Station 400, there are **no viable options considered** for the current location.

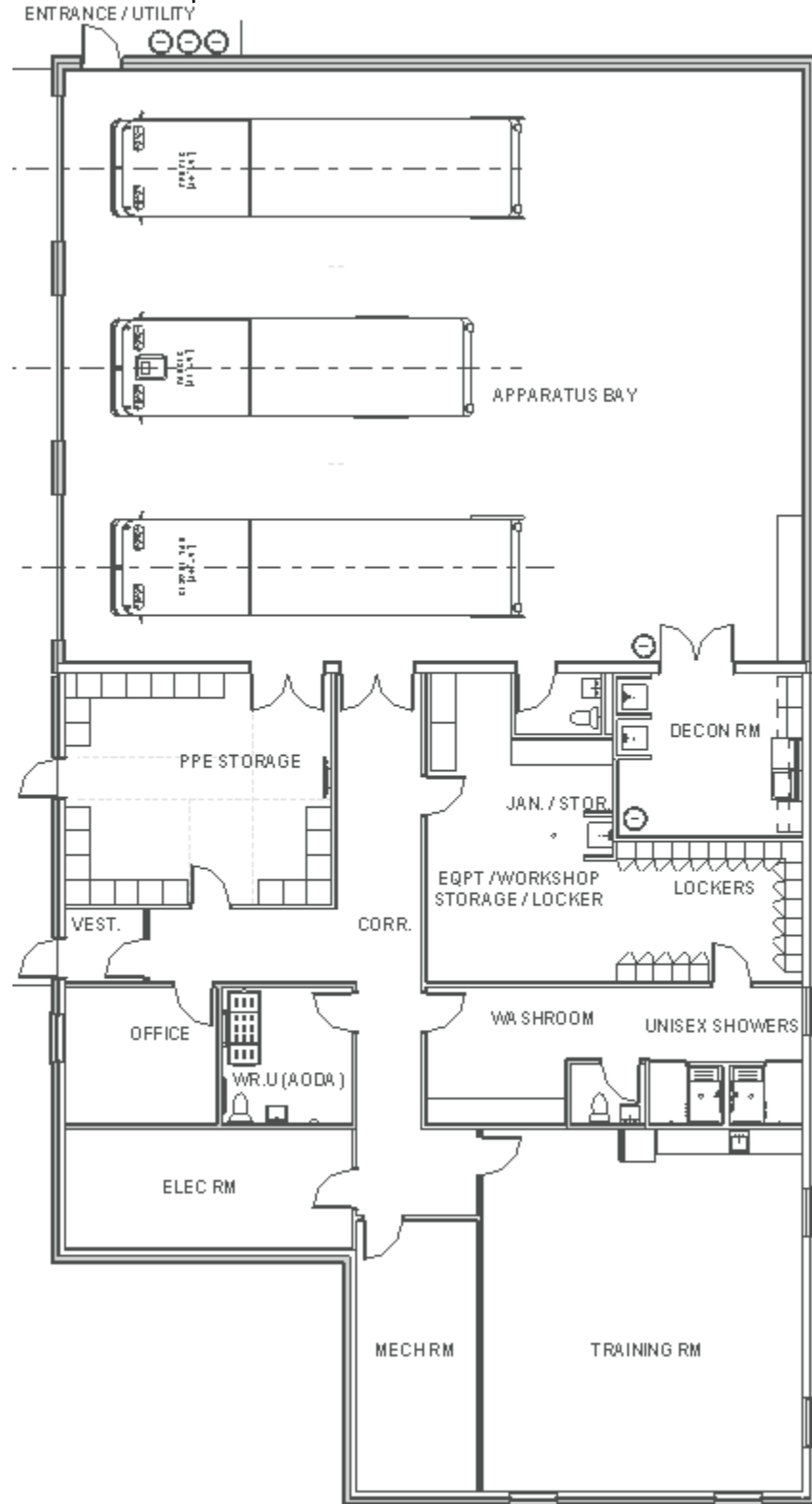
Once the NFD services' functions have been relocated, Nation may wish to resolve this asset.

## 5. Station 400.1 Proposed Station

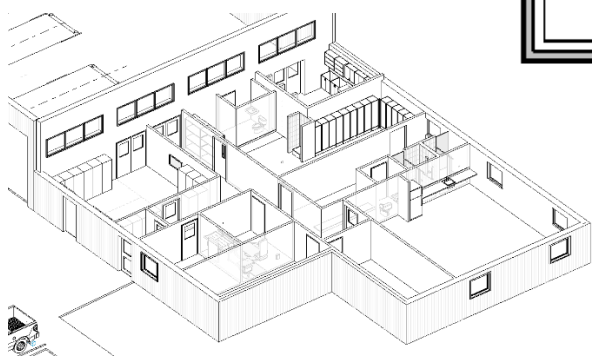
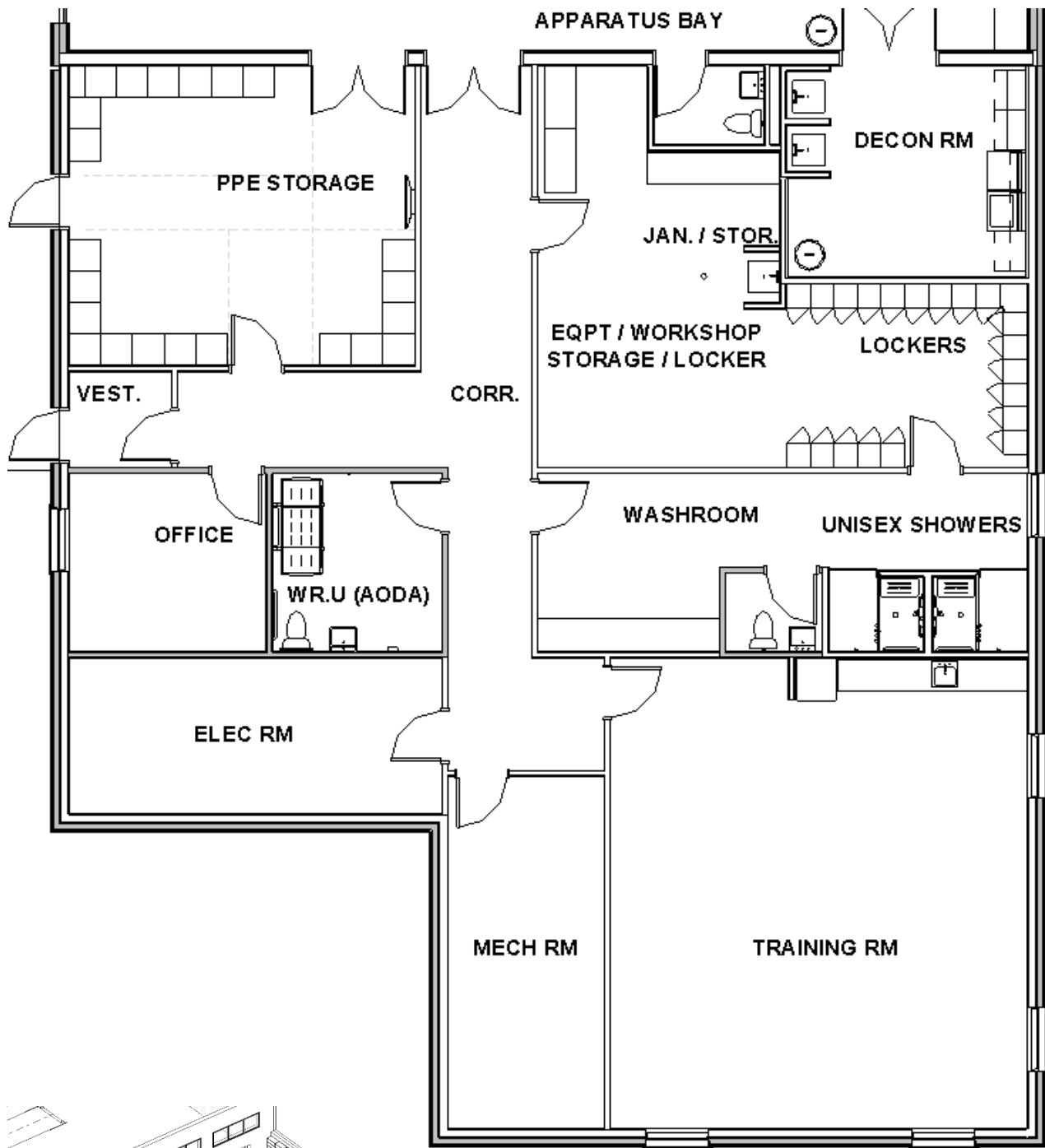
Partial Site Plan:



**Proposed Floor Plan Layout:**  
 This design provides all the required functions.



**Partial Floor Plan, Admin Wing:**



### **3. Architecture:**

The proposed Satellite Station has been reviewed with NFD and presents a more austere version of typical contemporary fire stations. Features include energy efficient building envelope with higher-thermal-resistance natural daylighting in Apparatus Bay. The PPE Storage room has direct access from the volunteer parking area. The Decontamination, Equipment, Locker and Shower Rooms are sequentially laid out to best support healthy after-event workflows.

Butterfly roofs flow rainwater to underground cistern, refer to Appendix E. This geometry also removes the need for perimeter gutters, snow guards and their related maintenance efforts.

Refer to Appendix B – Outline Specifications, for detailed technical information.

### **4. Civil Context / Services:**

Refer to Appendix C Civil Design Brief, prepared by McIntosh Perry, for scope details.

### **5. Structural Context:**

Substructure described in detail in Appendix D Structural Design Brief, prepared by Cleland Jardine Engineering Ltd. (CJE Ref #: 21-0259), for context and construction.

### **6. Mechanical Services:**

Refer to Appendix E – Mechanical Design Brief – 400.1 St.-Albert.

### **7. Electrical Services:**

Refer to Appendix G – Electrical Design Brief – 400.1 St.-Albert.

# J. Cost Analysis

## 1. General Context

Over the past few years, the economic context has evolved to unprecedented market conditions, not experienced in generations. This results in construction bids varying greatly due to lack of bidders / trades, escalating material costs, shortage of materials and equipment. Generally, in the construction sector, material costs have risen 40-50% and labour costs have risen 15% relative to pre-March 2020 references. This represents ±30% blended higher construction costs.

Given the Nation Master Fire Plan recommendations, waiting for more favourable economic conditions is not an option. There is no evidence that costs would return to pre-pandemic reference levels.

Estimates include:

- General Conditions
- Contractor Fees
- Insurance / Bonding

*Inclusions are general allowances and will vary based on bids received. Exclusions will vary based on bids received, conditions discovered, and future decisions.*

Estimates exclude:

- Design Fees
- Land Acquisition Fees
- Various Permits / Taxes
- Hazardous Materials
- Utility Services
- Soil Capacity Remediation
- Furnishings Fixtures Eqpt.

In preliminary planning stages, it is very important to factor in contingencies to mitigate and manage project risks. Since no parcels of land are dedicated for fire stations, these cost estimates include for “remote services” (well, cistern and septic systems).

## 2. Station 100.0 Renovation

Add small addition to existing urban fire station.  
Resolve existing building deficient conditions.



Net Building	\$1,126,435	
Contracting	\$237,675	
Contingencies	\$272,825	
Exclusions	_____?	
	<b>\$1,636,935</b>	±30% (\$1.15M - \$2.13M)

## 3. Station 100.1 Proposed

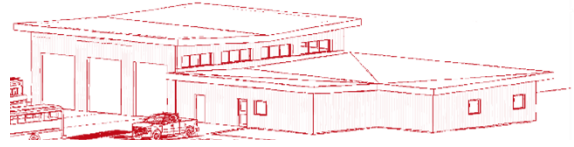
This report extrapolates costs informed by Station 400.1 details applied to 1,100m<sup>2</sup> area for this Station’s estimate.

Net Building	\$5,902,125	(Includes remote services’ costs)
Contracting	\$950,245	
Contingencies	\$1,370,475	
Exclusions	_____?	
	<b>\$8,222,845</b>	±30% (\$5.76M - \$10.69M)

## J. Cost Analysis (continued)

### 4. Station 400.1 St-Albert

While no parcel of land is known at time of reporting, the area is understood and represents additional cost conditions related to lack of municipal services.



Given the standalone nature of the station, the design would serve taxpayers well by minimizing long-term operational costs. This comes at a relatively slight increase in up-front capital costs.

Net Building	\$3,485,300	(Includes \$395K in remote services' costs)
Contracting	\$561,135	
Contingencies	\$808,685	
Exclusions	_____?	
	<b>\$4,855,120</b>	±30% (\$3.4M - \$6.32M)

Sustainable solutions for life cycle and operational cost analysis:

Solar array	+\$340,000	(Option may offset operational costs, TBD)
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## K. Recommendations

### **Station 100.0 St-Isidore Renovation**

Given that the salient goal of La Nation is to provide safe working conditions to their firefighters, this option is the fastest solution since land acquisition is not yet resolved for a new hub station (100.1).

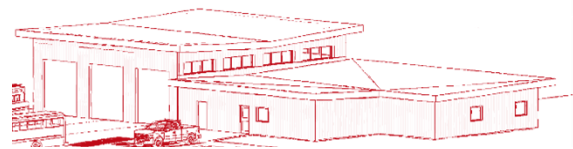


In order to ensure best return on investment for citizens, it would be beneficial to incorporate a long-term building function analysis prior to next stage of design. This would help inform, and may direct some adjustments to, design a complete building that could better serve La Nation once the NFD function moves on to its future new hub station. Questions such as “will this a library again” or “will public works functions move in” could influence planned interventions or lead to minor increases in scope that are cost-effective over a longer period.

La Nation is planning some civil works in 2023. These should be shared with designers and reviewed to try to create a safe context for first responders coming in / out quickly and the community’s use of streets for parking.

### **Station 400.1 Proposed St-Albert**

This option is the only choice for the St-Albert area. Finding a municipality-serviced lot may reduce the cost estimate by ±395,000.



Cost mitigation options may suit La Nation by working with NFD to confirm whether current, and future, equipment can be parked within a 2-bay footprint (same as current station 400.0).

Given the context of carbon pricing and rising energy costs, we recommend that the reports outlines for building systems, passive rainwater collection, and daylighting is implemented, or improved, to mitigate the long-term operating costs future generations of taxpayers will charged with paying. Adding solar array system, or other power generating system(s) can help offset operating costs over time.

# Appendix A - Outline Specifications Station 100.0

## A SHELL

### A1 SUB-STRUCTURE

This refers to the following primary sub-sections: also refer to structural, mechanical, and electrical design briefs:

- 150mm concrete slab on grade for Apparatus Bay retrofit for existing trench drains and building services renovations.

Described in detail in Appendices.

### A2 STRUCTURE

Substructure described in detail in Appendix D, for construction. Background architectural drawings have not been updated to reflect the foundation types for the project and should not be followed.

### Miscellaneous Metals Fabrication

May consist of, but is not necessarily limited to, the following items.

- Supports for equipment
- Others as yet to be identified

### A3 EXTERIOR ENCLOSURE

#### A31 WALLS BELOW GRADE

- Foundation Walls:

#### Support Spaces' Wing

##### Option 1

- 460-thick concrete
- 100-thick insulation, imbedded into wall, 600-deep.
- Damp-proofing membrane: footing to finished grade.

##### Option 2

- 200-thick concrete.
- Damp-proofing membrane: footing to finished grade.
- 100-thick, continuous, insulation: footing to finish grade.

## A32 WALLS ABOVE GRADE

## Standard of Acceptance

- Perimeter Load-Bearing Wall:  
**Support Spaces' Wing**
    - Self-adhered VB membrane.
    - 16mm exterior grade, glass-reinforced, sheathing.
    - 152mm metal stud framing system.
    - 16mm, painted interior, gypsum board.
  - Exterior Cladding Assemblies:
    - Cladding systems.
      - Up to 900mm: 190x390x90mm Manufactured stone units (rectangular sill unit)  
*Permacon Nobel Architectural Block, Charcoal Buffed*
      - Above 900mm: 22ga pre-finished metal siding: *Ideal Roofing: Urban Accent*
    - 127mm Vertical Z-Girts
    - 50mm Horizontal Z-Girts
    - 127mm rock slag semi-rigid insulation, R\_\_:  
*Rockwool Plus MB*
    - 50mm rock slag semi-rigid insulation, R\_\_:  
*Rockwool Cavity Rock*
- Option 1** **Option 2**
- Lower 900:  
90mm, manufactured stone assembly, with sill cap, resting on foundation wall. Same as Option 1, except...
  - Above 900:  
Pre-Finished Metal siding system. (Colour: Stone Grey) resting on Fero wall brackets: *FAST Standard / Inverted anchored to foundation wall.*  
<https://www.ferocorp.com/pages/fast/fast.html>)

## A33 WINDOWS AND ENTRANCES

- Typical Window Systems
  - Anodized aluminum frames:
    - Entrance Door: *Alumicor Products ThermaDoor 7700 Series*
    - Punched Windows: *ShadowLine 970 Series*
      - Mullion 19mmx158.8mm
      - Nose 50.8mm
  - Typical Glazing Units
    - Double-glazed units with coated glass:
      - Windows:  
6mm Clear with film on surface #2: *Guardian TE 67*  
Spacer: 12.7mm  
6mm Clear
      - Door:  
Same as above with tempered glass.

## **A34 ROOF COVERINGS**

Standard of Acceptance

### **Proposed Addition**

- Cambridge White Standing Seam: *Ideal Roofing: Heritage Series*
- 127mm metal Z-girt system running parallel to OWSJ and
- 127mm metal Z-girt system running perpendicular to OWSJ
- 2-layers of 127mm rock slag semi-rigid insulation (R40): *Rockwool*
- Self-adhered VB membrane system.
- 16mm exterior grade, glass-reinforced, sheathing.
- Refer to Appendix D for structure.
- Accessories match roof color
- Dektite roof flashing, or equivalent, for metal roof penetrations
- Lowest edge snow guard system: *VentSaver P-383*  
<https://snoblox-snojax.com/products/ventsaver-p-383.html>

## **B INTERIORS**

### **B1 PARTITIONS AND DOORS**

#### **B11 PARTITIONS**

- Typical STC 45+ metal-framed Partitions:
  - 92mm Studs @ 400 O/C with deflection top-track.
  - 16mm gypsum board (both sides), painted.

#### **B12 DOORS**

- Typical door frames: pressed steel frames.
  - Interior frames consisting of galvanized steel, 16 ga. metal core thickness, 150 mm nominal depth with 50 mm face width. Fully welded and reinforced to suit opening requirements. Paint all door frames.
- Typical doors: hollow metal.
  - Doors consisting of zinc wipe coated steel, 18 ga. metal core thickness, primed ready for painting, fabricated full flush seamless, pan type with vertical and any other visible edges having seams continuously welded, filled and ground smooth with a honeycomb core bonded to door skins, wired glass in exit doors. Paint all doors.
- Typical Door Hardware
  - Hardware will consist of institutional grade ball bearing butt hinges, rim mounted panic devices, door closers, Series 4000-Grade 1 mortise locks or latch sets, and access controls to suit door functionality.
- Sectional Overhead Doors
  - Exterior – Insulated (R12 min.) Aluminum Door System.
- Existing 3m wide, add panel from 12' to 14' tall – at two front OH doors (#2, #3).

#### **B13 INTERIOR WINDOWS**

- Typical Non-rated
  - 45mm anodized aluminum frames and all patch fittings. Tempered single-glazing.

### **B2 FINISHES**

#### **B21 FLOOR FINISHES**

- Apparatus Bay: sealed concrete slab: *BASF: MasterProtect H 1001*
- Corridors: Porcelain Tile (Lea stone Floor Tile Dark Grey Matte Finish 12" x 24")

#### **B22 CEILING FINISHES**

- Painted, 16mm gypsum board on metal furring channels on metal framing.
  - Decontamination Room: humidity-rated gypsum board.
- Acoustic ceiling tile system: 2' x 2' grid, Fissured pattern panels.

## **B23 WALL FINISHES**

Standard of Acceptance

- Paint all substrates:
  - Gypsum: high-performance water based acrylic premium grade paint (low or no VOC)
  - Concrete / block: 1 coat of block filler, primer coat and 2 coats of acrylic paint.
  - Exposed steel / Misc. metals: High-performance alkyd enamel paint, one coat primer, two finish coats
- Ceramic Tile:
  - Decontamination Room, up to 2135 AFF:
    - Field: Light Grey, Matte Finish 12" x 24". *Olympia Tile, Lea Stone*
    - Accent: Porcelain tile for Citron Bright.

## **B3 FITTINGS AND EQUIPMENT**

### **B31 FITTINGS AND FIXTURES**

- Visual Display Boards: Chalk and marker writing surfaces, porcelain enameled steel sheet laminated to composition core, tack-able surfaces from 6 mm thickness linoleum, complete with framing materials, chalk and pen ledges and map rails
- Millwork: Workshop Cabinets, Countertops (Workshop).
  - Finishes:
    - Cabinets: Laminate selected from standard range. *Formica*
    - Light Uppers and Dark Loweres.
    - Countertop: Stainless Steel

## **C SERVICES**

### **C1 MECHANICAL AND ELECTRICAL**

- See Mechanical detailed description in Section H.3.6.
- See Electrical detailed description in Section H.3.7. and Appendix F.

## **D SITE + ANCILLIARY WORK**

### **D1 SITEWORK**

#### **D11 SITE DEVELOPMENT**

- See Civil Design Brief, Appendix C.
- The site will be restored with spray hydroseed once the building, curbs and parking lots are completed.
- The topographic survey provides little information at the north end of the property. The surveyor should provide existing grade elevations and the adjacent property.

### **D2 ANCILLIARY WORK**

#### **D21 DEMOLITIONS**

- Minor site demolitions are planned, related to existing fencing and signage.

# Appendix B – Outline Specifications Station 400.1

## A SHELL

### A1 SUB-STRUCTURE

This refers to the following primary sub-sections: also refer to structural, mechanical, and electrical design briefs:

- Poured concrete foundation and footings
- 150mm concrete slab on grade for Apparatus Bay side
- 125mm concrete slab on grade for Office Side
- Typical perimeter under slab insulation, 75mm thick, 915mm wide continuous, will be provided to the perimeter of the floor slab on grade.
- 25mm under slab insulation for remainder of floor plate

### A2 STRUCTURE

Substructure described in detail in Appendix D - Structural Design Brief. Background architectural drawings have not been updated to reflect the foundation types for the project and should not be followed.

### Miscellaneous Metals Fabrication

May consist of, but is not necessarily limited to, the following items.

- Hose Drying Racking System:
- Fold Down Aluminum Ladder Frame 24" wide by 40' long with heavy duty mesh attached to frame. 2 tiers
- Supports for washroom vanities and counters
- Ceiling supports for ceiling hung toilet partitions
- Sump covers and frames
- Roof access ladders
- Fall arrest system and roof anchors
- Metal Visual Screen:
  - Galvanized Parapet Mounted Screen System with U-Panel Screen
  - Basis of Design: Roof Screen – Wall-Mounted Frames
- Others as yet to be identified

### Fire Protection

Steel beams supporting rated floor assemblies – Are not required to be rated if consisting of non-combustible construction.

Steel Columns supporting rated floor assemblies – Are not required to be rated if consisting of non-combustible construction.

Fire stopping materials to comply with Ontario Building Code - Will be utilized at the top of fire separations and penetrating through rated wall assemblies.

**A3 EXTERIOR ENCLOSURE**  
**A31 WALLS BELOW GRADE**

Standard of Acceptance

- Foundation Walls:

**Apparatus Bay**

**Option 1**

- 515-thick concrete.
- 100-thick insulation, imbedded into wall, 600-deep.
- Damp-proofing membrane: footing to finished grade.

**Option 2**

- 250-thick concrete.
- Damp-proofing membrane: footing to finished grade.
- 100-thick, continuous, insulation: footing to finish grade.

**Admin Wing**

**Option 1**

- 460-thick concrete
- 100-thick insulation, imbedded into wall, 600-deep.
- Damp-proofing membrane: footing to finished grade.

**Option 2**

- 200-thick concrete.
- Damp-proofing membrane: footing to finished grade.
- 100-thick, continuous, insulation: footing to finish grade.

**A32 WALLS ABOVE GRADE**

- Perimeter Load-Bearing Wall:

**Apparatus Bay**

- Self-adhered VB membrane.
- 16mm exterior grade, glass-reinforced, sheathing.
- 203mm metal stud framing system.
- 16mm, painted interior, gypsum board.
- Prefinished metal liner panel

*Ideal Roofing: Colonial Siding*

**Lower Building**

- Same as above with 152mm metal stud framing system without interior liner panel.
- Exterior Cladding Assemblies:
  - Cladding systems.
    - Up to 900mm: 190x390x90mm Manufactured stone units (rectangular sill unit) *Permacon Nobel Architectural Block, Charcoal Buffed*
    - Above 900mm: 22ga pre-finished metal siding: *Ideal Roofing: Urban Accent*
  - 127mm Vertical Z-Girts
  - 50mm Horizontal Z-Girts
  - 127mm rock slag semi-rigid insulation, R20: *Rockwool Plus MB*
  - 50mm rock slag semi-rigid insulation, R8.6: *Rockwool Cavity Rock*

**Option 1**

- Lower 900: 90mm, manufactured stone assembly, with sill cap, resting on foundation wall.
- Above 900: Pre-Finished Metal siding system. (Colour: Stone Grey)

**Option 2**

- Same as Option 1, except...
  - resting on Fero wall brackets: FAST Standard / Inverted anchored to foundation wall. (<https://www.ferocorp.com/pages/fast/fast.html>)
- Above 900: Pre-Finished Metal siding system. (Colour: Stone Grey).

### **A33 WINDOWS AND ENTRANCES**

### Standard of Acceptance

- Typical Window Systems
  - Anodized aluminum frames:
    - Entrance System:
    - Entrance Door:
    - Punched Windows:
      - Mullion 19mmx158.8mm
      - Nose 50.8mm
  - Typical Glazing Units
    - Double-glazed units with coated glass:
      - Windows:
        - 6mm Clear with film on surface #2: Guardian TE 67
        - Spacer: 12.7mm
        - 6mm Clear
      - Door:
        - Same as above with tempered glass.
  - Apparatus Bay Glazing Units
    - Daylighting assembly Solera

### **A34 ROOF COVERINGS**

- **Both Butterfly Roofs:**
  - 2 Ply-Mod Bit Roofing – Cold Applied. Colour: Light or White Cap Sheet
  - Sloped Rigid Insulation.
  - 200mm (R40) Rigid Insulation.
  - Self-adhered VB membrane system.
  - 16mm exterior grade, glass-reinforced, sheathing.
  - Refer to Appendix D for structure.
- Accessories match roof color
  - Aluminum, watertight flashings by Thaler, or equivalent.

## **B INTERIORS**

### **B1 PARTITIONS AND DOORS**

#### **B11 PARTITIONS**

- Typical STC 45+ metal-framed Partitions:
  - 92mm Studs @ 400 O/C with deflection top-track.
  - 16mm gypsum board (both sides), painted.

#### **B12 DOORS**

- Interior vestibule door and frame system.
  - 45mm anodized aluminum frames w/rails, pivots, concealed closers, exit hardware, thresholds and architectural push/pulls, and all patch fittings.
- Typical door frames: pressed steel frames.
  - Interior frames consisting of galvanized steel, 16 ga. metal core thickness, 150 mm nominal depth with 50 mm face width. Fully welded and reinforced to suit opening requirements. Paint all door frames.
- Typical doors: hollow metal.
  - Doors consisting of zinc wipe coated steel, 18 ga. metal core thickness, primed ready for painting, fabricated full flush seamless, pan type with vertical and any other visible edges having seams continuously welded, filled and ground smooth with a honeycomb core bonded to door skins, wired glass in exit doors. Paint all doors.

- Typical Door Hardware Standard of Acceptance
  - Hardware will consist of institutional grade ball bearing butt hinges, rim mounted panic devices, door closers, Series 4000-Grade 1 mortise locks or latch sets, and access controls to suit door functionality.
- Sectional Overhead Doors
  - Exterior – Insulated (R12 min.) Aluminum Door System.

### **B13 INTERIOR WINDOWS**

- Typical Non-rated
  - 45mm anodized aluminum frames and all patch fittings. Tempered single-glazing.

## **B2 FINISHES**

### **B21 FLOOR FINISHES**

- Offices: VCT Flooring (Hudson Blue, Cool Grey and Dark grey) *Tarkett VCT*
- Apparatus Bay: sealed concrete slab: *BASF: MasterProtect H 1001*
- Corridors, Kitchenette:
  - Porcelain Tile (Lea stone Floor Tile Dark Grey Matte Finish 12" x 24")
- Washrooms: Porcelain: *Olympia Tile, Quebec Series Graphite*
  - Mosaic 2x2 (shower area) and 12" x 20".
- Entrance foot grille: *Construction Specialties: Pedigrig*
  - Clear Anodized Serrated Aluminum Rail with 16ga Aluminum Pan, no drain.

### **B22 CEILING FINISHES**

- Painted, 16mm gypsum board on metal furring channels on metal framing.
  - Washrooms: humidity-rated gypsum board.
- Acoustic ceiling tile system: 2' x 2' grid, Fissured pattern panels.

### **B23 WALL FINISHES**

- Paint all substrates:
  - Gypsum: high-performance water based acrylic premium grade paint (low or no VOC)
  - Concrete / block: 1 coat of block filler, primer coat and 2 coats of acrylic paint.
  - Exposed steel / Misc. metals: High-performance alkyd enamel paint, one coat primer, two finish coats
- Ceramic Tile:
  - Kitchenette / Washrooms:
    - Field: Light Grey, Matte Finish 12" x 24". *Olympia Tile, Lea Stone*
    - Accent: Porcelain tile for Citron Bright for Washroom and Red Pepper Bright.

## **B3 FITTINGS AND EQUIPMENT**

### **B31 FITTINGS AND FIXTURES**

- Visual Display Boards: Chalk and marker writing surfaces, porcelain enameled steel sheet laminated to composition core, tack-able surfaces from 6 mm thickness linoleum, complete with framing materials, chalk and pen ledges and map rails
- Toilet Partitions: Steel, No-gap extended ceiling hung toilet and urinal screens, stainless steel hardware. Factor applied paint finish – selected from manufacturers standard colour range.
- Millwork: Kitchen & Workshop Cabinets, Countertops (Washroom, Kitchen, Workshop).
  - Finishes:
    - Cabinets: Laminate selected from standard range. *Formica*
    - Light Uppers and Dark Lower.
    - Countertop: Stainless Steel

- Washroom Accessories: Standard of Acceptance
  - Toilet Tissue Dispenser: Multi-roll dispenser: *Bobrick B-4288*
  - Paper Towel Dispenser: Touch-Free pull towel dispenser: *Bobrick B-2860*
  - Soap Dispenser:
    - Push cover bulk soap dispenser with removable reservoir: *Bobrick B-4112*
  - Garbage Bins:
    - Surface mounted bin with heavy-gauge vinyl removable rigid liner: *Bobrick B-279*
  - Feminine napkin disposal bin: Surface mounted napkin receptacle with integral finger depression for opening cover: *Bobrick B-270*
  - Feminine napkin Dispenser: Surface mounted napkin dispenser with combined two dispensing mechanisms: *Bobrick B-2706*
  - Mirrors: Plate glass 4.0 mm to CAN/CGSB-12.5, Stainless steel frame, electrolytically copper plated and guaranteed against silver spoilage for 10 years, concealed fasteners for mounting: *Bobrick B-165*
  - Grab Bars:
    - Straight: Type 304 stainless steel, concealed screw attachment: *Bobrick B-5806.99*
    - 90 Deg: Type 304 stainless steel, concealed screw attachment: *Bobrick B-5898.99*
  - SS Shelf: Surface mounted with concealed mounting brackets: *Bobrick B-683*
  - Clothes Hook: all welded construction: *Bobrick B-233*
  - Robe Hook: all welded construction with concealed mounting: *Bobrick B-6717*
  - Soap Dish with Bar: *Bobrick B-4390*
  - Shower Curtains:
    - Rod: 30mm dia., Extra Heavy-Duty type 304 Stainless steel tubing: *Bobrick B-6047*
    - Curtain: Matte white 0.2mm vinyl, containing antibacterial and flame-retardant agents. Nickel-plated brass grommets every 150mm. *Bobrick B-240-3*
    - Curtain Hooks: Type 304 Stainless Steel curtain hook: *Bobrick B-204-1*

## **C SERVICES**

### **C1 MECHANICAL AND ELECTRICAL**

- See Mechanical Appendix E.
- See Electrical Appendix G.

## **D SITE + ANCILLIARY WORK**

### **D1 SITEWORK**

#### **D11 SITE DEVELOPMENT**

- See Civil Design Brief, Appendix C.
- The site will be covered with spray hydroseed once the building, curbs and parking lots are completed.

### **D2 ANCILLIARY WORK**

#### **D21 DEMOLITIONS**

- Minor site demolitions are planned, related to existing fencing and signage.

# Appendix C – Civil Design Brief

4 pages

# APPENDIX C – CIVIL DESIGN BRIEF

## ST ISIDORE FIRE STATION #100

## ST-ALBERT FIRE STATION #400

Project No.: CCO-22-3601

Prepared by:

McIntosh Perry Consulting Engineers Ltd.  
115 Walgreen Road  
Carp, ON K0A 1L0

### ST ISIDORE FIRE STATION #100

McIntosh Perry (MP) has been retained by IDEA to assess the servicing feasibility for the St-Isidore Fire Station at 25 De l’Arena Street within Saint Isidore. The contemplated development consists of a building addition to the existing fire station.

#### *Water Servicing*

There is an existing 250mm diameter water loop located within the site. The watermain network connects the watermain within De l’Arena Street and the water tower at the north-west corner of the site. The existing fire station is serviced by a 50mm service on the north side of the building connected to the 250mm water loop.

It is anticipated that the building addition will be serviced through the existing building, maintaining the connection to the municipal watermain system. The capacity of the existing service will need to be reviewed by the mechanical engineer during the detailed design stage. There are municipal fire hydrants located approximately 35m east, 58m west, and 89m north of the existing building expected to service the contemplated development. Additional civil costs for the building addition development are not anticipated.

#### *Sanitary Servicing*

There is an existing sanitary sewer located within the De l’Arena Street right-of-way fronting the subject site. It is anticipated that the existing fire station is serviced by the municipal sanitary sewer.

It is anticipated that the building addition will be serviced through the existing building, maintaining the connection to the municipal sanitary sewer system. The capacity of the sanitary service within the building will need to be confirmed by the mechanical engineer, whereas the service outside of the building will be reviewed and confirmed by civil during the detailed design stage. Additional civil costs for the building addition development are not anticipated.

### *Storm Servicing & Stormwater Management*

Stormwater runoff from the site is currently tributary to the municipal storm sewer within de L’Arena Street and to the existing drainage ditch located along the north and west side of the property limits. St-Isidore is bound by the Boundary Road Municipal Drain north of the town and the Marleau Municipal Drain south of the Town. Drainage routes would be defined during the detailed design stage.

Post-development to be restricted to pre-development levels. This will be confirmed by the municipality during the pre-consultation meeting.

The building addition is proposed above the existing parking lot. As a result, no net change to the site’s imperviousness is anticipated. Water collected on the building addition rooftop and rain gutters will reduce stormwater flow rates in this area, therefore no negative impacts are expected on the downstream storm systems. Further details will be reviewed during the site plan control process.

## **ST-ALBERT FIRE STATION #400**

### *Water Servicing*

There are currently no municipal watermains available in the vicinity of the contemplated development. In addition, no existing wells are expected within the development area. Based on available MECP data, there are 10 local wells (2 abandoned) surrounding the St-Albert Road and Ste 900 East intersection. The closest well (#5601459) indicates a depth of 14.9 m, a pumping rate of 20 gpm, a recommended pumping rate of 5 gpm, and a pumping duration of 1 hour.

A new well is anticipated to service the fire station. Further investigation will be required to determine whether domestic supply, for sink and shower uses only, can be supported by a well. If not, a small water tank containing the required domestic supply will be required on-site. Tank volume will need to be confirmed by the mechanical engineer.

For the purposes of fire fighting, it is anticipated that the grey water tank, discussed in the *Storm Servicing* section below will supply emergency water supply to the building. Based on the building area and OBC guidelines, a 21,000-gallon fire tank is estimated to be required. It is expected that a draw shoot will be installed directly into the tank and therefore, an onsite fire hydrant is not expected.

### *Sanitary Servicing*

There are currently no municipal sanitary sewers available in the vicinity of the contemplated development. In addition, no existing septic services are expected within the development area.

In accordance with the Mechanical Design Brief, included in Appendix E, the development is contemplated to be serviced with a new septic field. The septic system will need to be designed in accordance with the health unit, which will require a septic system permit. At this time flows are not expected to exceed 10,000 L/day,

therefore, an Environmental Compliance Application with the MECP is not expected. Flows to be further reviewed during the detailed design stage.

The septic bed is estimated to be 272 m<sup>2</sup> and field is estimated to be 992 m<sup>2</sup> based on similar rural fire station developments within Eastern Ontario. In addition, the septic field will need to be spaced a minimum of 8 m from the fire station which will be confirmed during the detailed design stage. Per the Mechanical Design brief, an oil and grease interceptor will be provided within the building prior to connecting to the septic field.

***Storm Servicing & Stormwater Management***

The subject site is located between two watercourses; the Lafleche Machabee Municipal Drain is located north of the site along St Albert Road and the West Branch of Butternut Municipal Drain is located south-east of the site along Rte 900 East. Drainage routes would be defined during the detailed design stage. The following design criterion are anticipated:

**Quality Control**

- Quality controls will be required for the development due to the stormwater outlet from the site. It is anticipated that 80% total suspended solids (TSS) removal will be required for stormwater runoff leaving the site. This will need to be confirmed by the Conservation Authority.

**Quantity Control**

- Post-development to be restricted to pre-development levels. This will be confirmed by the municipality during the pre-consultation meeting.

Quality control measures are expected for runoff within the surface parking lot. It is anticipated that quality controls will be provided via an oil grit separator (Stormceptor or equivalent). Water will flow into the unit before flowing overland into the existing drainage system and/or on-site swales.

It has been assumed that the existing site contained no stormwater management controls for flow attenuation. The estimated pre-development peak flows for the 5 and 100-year events for the parking and building areas are summarized below.

**Table 1: Pre-Development Runoff Summary**

Drainage Area	Area (ha)	Q (L/s)	
		5-Year	100-Year
A1	0.2	7.70	16.43

Post-development to be restricted to pre-development levels. It is estimated that 65 m<sup>3</sup> of surface storage, either within the parking area or within a landscaped swale system, or greywater tank storage will be required to meet the target release rates. It is estimated that a maximum surface area of 130 m<sup>2</sup> of landscaping within the north-west corner of the site may be required for quantity control.

In accordance with the Mechanical Design brief and coordination with IDEA, the following design elements are being incorporated into the design:

- The sloped sections of roof will collect stormwater via a gutter system and send water to the flat section of roof.
- The flat section of roof will collect stormwater via roof drains and will direct stormwater to an outdoor greywater tank.
- The greywater tank will contain a Submersible Pressure Pump, Pressure switches, Rainwater Purification System c/w UV Light, a Rainwater Harvesting System controller, an overflow, and a BMS to monitor cistern levels.

The greywater tank is expected to provide several uses for the development.

- The first will be the collection of stormwater which will reduce stormwater leaving the site by retention on-site.
- The second will be the reuse of the greywater for the use of flushing toilets, urinals, and hose bibs (internal and external).
- The third will be use of water for fire fighting purposes on-site. As noted in the *Water Servicing* section, it is estimated that 21,000 gallons of water will be required based on the contemplated building area (greater than 600 m<sup>2</sup>). In addition, it is anticipated that truck cleaning will utilize the greywater tank. It is estimated that the tank dimensions will be 20 ft long, 21 ft wide, and 11.5 ft deep (total of 4830 ft<sup>3</sup>). Dimensions to be confirmed by tank manufacturer.

Based on coordination with IDEA, it is anticipated that the well will be used to maintain water levels within the greywater tank. Well water will need to be appropriate water treatment. Mechanical engineers will need to design controls and floats within the tank to ensure enough capacity within the tank and geotechnical engineers will need to ensure that there is no negative impact to the site's hydrogeology.

# Appendix D - Structural Design Brief

9 pages



# Feasibility Study | Final Report

## Nation Municipality Fire Stations – Design Brief



July 21, 2022  
CJE Ref #: 21-0259

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### APPENDICES

APPENDIX – A-01: St. Isidore Concept Design

APPENDIX – A-02: St. Albert Concept Design

APPENDIX – A-03: Typical Detail: Pits/Trenches

# FEASIBILITY STUDY – NATION MUNICIPALITY FIRE STATIONS

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## 1 INTRODUCTION

The purpose of this feasibility study is to provide a high level preliminary assessment for the purpose of budgeting of two fire stations for the Nation Municipality. The two fire stations are a new building design in St. Albert and the other is a renovation/retrofit of the existing fire station in St. Isidore.

Architectural drawings of the two respective buildings were provided by Integrated Design Engineering & Architecture (IDEA) and were used as the basis of the feasibility and conceptual design. At this stage of the concept there are some gaps which are identified in this report, and assumptions were made to carry out the concept.

The existing fire station in St. Isidore was reviewed on site on April 4<sup>th</sup>, 2022, and July 8<sup>th</sup>, 2022, to verify the existing conditions and impacts of the proposed alterations and addition.

## 2 BUILDING DESCRIPTION AND PROPOSED UPDATES

### 2.1 St. Isidore Fire Station

The existing fire station located on De l’Arena Street in St. Isidore was reviewed on site on April 4<sup>th</sup>, 2022, and July 8<sup>th</sup>, 2022, to verify the existing conditions and impacts of the proposed alterations and addition. Existing drawings of the building were provided to our office for review, the drawings were by Kostuch Engineering Limited dated June 16<sup>th</sup>, 1986.

Following review of the documents and on site the building is of wood frame construction (stud walls with wood roof trusses) bearing on block foundation walls and conventional shallow concrete footings. The building has an apparatus bay that has three overhead door openings for trucks on the South side of the building, with slab on grade construction complete with trench drains. The East side of the building contains offices, mechanical room, and training room etc.

During the review on site, it was observed that the slab on grade and trench drains within the apparatus bay cracked and deteriorating in some locations, particularly in the West Bay where salting trucks were stored and at edges of the trench drains and pits. The structure above grade was generally covered by drywall/ceiling in the office area and with metal siding on the interior of the apparatus bay. The base of the interior metal siding and cladding at the exterior were showing signs of rust and deterioration in various locations. Based on this it would be recommended to replace sections of the interior metal panel and to review and retrofit the structural walls at these locations as required.

The proposed updates for this fire station that has structural implications are as follows:

- Removal of partial or entirety of wall running North-South within the interior of the apparatus bay.
- Removal and reinstatement of the slab on grade and trench construction within the apparatus bay.
- Increasing the heights of select overhead doorways at the apparatus bay.
- A proposed building addition (approx. 2200 ft<sup>2</sup>) to the West of the existing building, a single storey containing lockers, PPE, and equipment room.

Based on the proposed updates and our reviews of the provided documents and site review we have the following comments. Refer to Appendix A-01 for additional information.

Following review of the existing structural drawings, the middle wall in the apparatus bay is bearing on a slab thickening, with a short concrete block curb and is constructed as a wood stud wall. Also considered is the roof is constructed with wood roof trusses, based on the spans of the apparatus bay (50 ft E-W and 75 ft N-S) it is reasonable to assume that the wood trusses are spanning East-West from the exterior wall on the West and bearing on the wall separating the apparatus bay with the low building portion. Based on this information this is indicative of a non load bearing wall for the proposed wall removal that would also not contribute to the Seismic Force Resisting System (SFRS). Following the site visit on July 8<sup>th</sup>, 2022, the following was confirmed based on a visual review through a ceiling hatch at about midway along the wall extent, see Appendix A-01 for further comments:

- Wood trusses spanning East-West as previously assumed.
- Top of wood stud wall terminates at underside of roof trusses and has no connection or transfer of lateral loads from the roof deck (diaphragm) to this wall. This wall does not contribute to the lateral resistance (SFRS).
- Top of wood stud wall does not line up with panel points of the trusses which would not transfer gravity loading to this wall. This wall is not load bearing as previously assumed.

The interior slab on grade within the apparatus bay is to be sawcut and removed to reinstate with a new trench system and slab on grade. The trench/pit and slab on grade is to be constructed with cast in place concrete with Class C-2 designation. The slab on grade is to be a minimum of 150 mm thick reinforced with wire mesh reinforcing or microfiber reinforcing. Additional reinforcing bars would be required for the trench and pit system. The subgrade is to be compacted as per geotechnical recommendations. Refer to Appendix A-03 for details of pits and trenches. It is also recommended to provide additives and finishing along the top of concrete to ensure durability.

The wall along the overhead door openings is anticipated to have lower tributary loading compared to the East and West walls of the apparatus bay and is of wood construction as indicated in the existing structural drawings received. To increase the heights the roof framing is to be temporary shored while the beam/lintel is removed or set at a higher elevation complete

with new 2x6 king and jack studs on each side as required. It is not recommended to increase the widths of the openings to not impact the lateral resistance of the building.

It is proposed to include a new 2200 ft<sup>2</sup> addition to the West of the existing building. Since the use and occupancy of the building is a fire station a new addition would be required to be designated as a Post-Disaster Building as per the 2012 Ontario Building Code (OBC). For a building addition of this size and considering the size of the existing building, it is recommended that the new addition be structurally separated from the existing complete with an expansion joint in between. If the buildings were to be structurally connected it would be required to review and retrofit the existing building to the latest OBC and their requirements, including a Post Disaster category. This would require a review and retrofit of the structure which would be intrusive and costly.

Based on the size and layout of the proposed building addition, it is recommended to construct the one-storey addition with wood frame construction including wood stud walls, beams and wood roof joists supported on shallow concrete foundations. The SFRS that would be used would be wood panel shear walls, which would have the sufficient ductility ( $R_D$ ) to meet Post Disaster requirements. See Appendix A-01 for conceptual framing and sizing.

## 2.2 St. Albert Fire Station

The proposed new fire station located in St. Albert is a single storey building anticipated of being constructed with structural steel framing on shallow concrete foundations. As per the latest OBC, it is required to design and construct this building based on a Post Disaster designation. Some of the requirements by the OBC to meet post disaster is to have a minimum ductility level of  $R_D$  of 2.0 or greater, which corresponds to Limited Ductility Concentrically Brace-Frames and Limited Ductility Moment-Resisting Frames.

The SFRS would generally be of Brace Frame construction, except for at the apparatus bay overhead doors where it would be recommended to utilize Moment-Resisting Frames due to the height change of the two adjacent roof levels. It is anticipated that 10 Brace-Frames and 3 Moment-Resisting Frames would be required.

Framing of the building would include open web steel joists supported on steel beams and HSS columns complete with base plates and anchor bolts. The steel frame would be supported on reinforced concrete piers and shallow foundations. The edge of deck locations is anticipated to have an overhang be in the order of 1 meter beyond beam framing. The edge of deck support can be done by extending the top chords of the open web steel joists and providing additional steel channels moment connected to the top of steel beams. Refer to Appendix A-02 for conceptual framing and sizing.

It is also anticipated that a prefabricated water cistern would be installed underground adjacent to the building at this site. Depending on the size, depth, and location of the cistern this may result in the requirement to step down the foundations to not have the footings undermined.

For this review a geotechnical report was not provided, as such assumptions were made regarding the parameter such as Site Class. For the Municipality of St-Albert and considering

Post-Disaster and Site Class E, it would be required by the OBC to interconnect all spread footings in both orthogonal directions with either a foundation wall or tie beams. As part of this feasibility study Site Class E is assumed and tie beams were included on the conceptual plan as indicated in Appendix A-02.

### 3. CONCLUSION

This feasibility study included a review and conceptual designs and recommendations for two fire stations located in St. Isidore and St. Albert. The existing building in St. Isidore had a proposed building addition which is to be wood construction that is structurally separated from the adjacent building to not trigger a requirement to review and retrofit based on the latest OBC. Included were requests to remove the interior apparatus bay wall, increase the opening height of the overhead doors and to remove and replace the existing concrete slab on grade and trench/pit drains. Comments and conceptual layouts are provided in Section 2.1 and Appendix A-01.

The fire station in St. Albert is proposed to be a new building and anticipated on being constructed with structural steel and open web steel joists. The SFRS is to be Limited Ductility Moment and Brace frames that meet the ductility requirements for a Post Disaster building. The foundations are to be shallow concrete footings and anticipated that the spread footings would need to be interconnected in both orthogonal directions with concrete foundation walls or tie beams if a Site Class E or F results from a geotechnical investigation. Since this information is not available for this feasibility report, it is assumed that the Site Class is E for the purpose of a Class D estimate. Comments and conceptual layouts are provided in Section 2.2 and Appendix A-02.

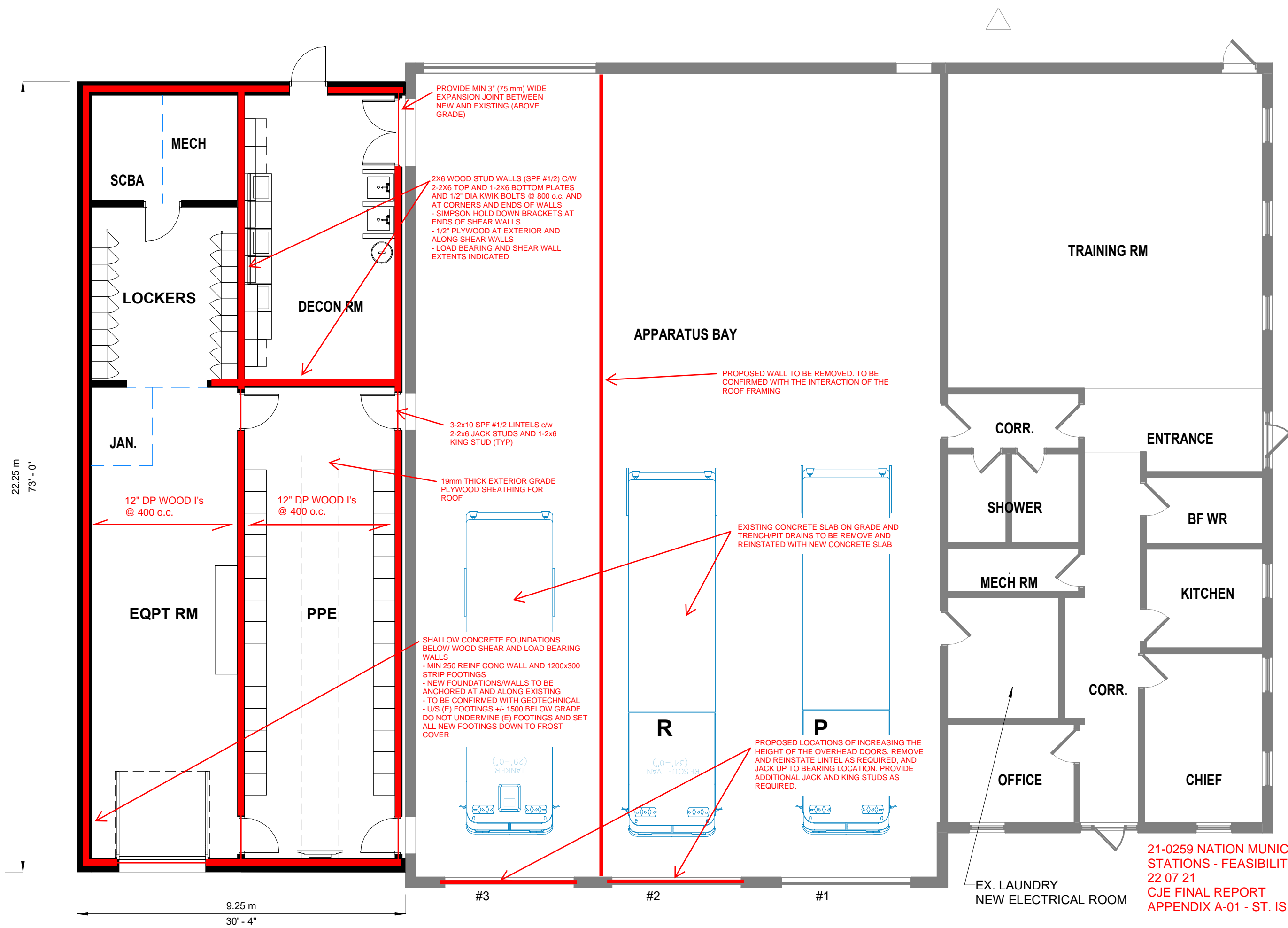
**CLELAND JARDINE ENGINEERING LTD.**



**TERENCE CAIN, P. ENG.**

Lead Structural Engineer: New Construction Department





PROVIDE MIN 3" (75 mm) WIDE EXPANSION JOINT BETWEEN NEW AND EXISTING (ABOVE GRADE)

2X6 WOOD STUD WALLS (SPF #1/2) C/W 2-2X6 TOP AND 1-2X6 BOTTOM PLATES AND 1/2" DIA KWIK BOLTS @ 800 o.c. AND AT CORNERS AND ENDS OF WALLS  
 - SIMPSON HOLD DOWN BRACKETS AT ENDS OF SHEAR WALLS  
 - 1/2" PLYWOOD AT EXTERIOR AND ALONG SHEAR WALLS  
 - LOAD BEARING AND SHEAR WALL EXTENTS INDICATED

3-2x10 SPF #1/2 LINTELS c/w 2-2x6 JACK STUDS AND 1-2x6 KING STUD (TYP)

19mm THICK EXTERIOR GRADE PLYWOOD SHEATHING FOR ROOF

SHALLOW CONCRETE FOUNDATIONS BELOW WOOD SHEAR AND LOAD BEARING WALLS  
 - MIN 250 REINF CONC WALL AND 1200x300 STRIP FOOTINGS  
 - NEW FOUNDATIONS/WALLS TO BE ANCHORED AT AND ALONG EXISTING  
 - TO BE CONFIRMED WITH GEOTECHNICAL  
 - U/S (E) FOOTINGS +/- 1500 BELOW GRADE. DO NOT UNDERMINE (E) FOOTINGS AND SET ALL NEW FOOTINGS DOWN TO FROST COVER

PROPOSED WALL TO BE REMOVED. TO BE CONFIRMED WITH THE INTERACTION OF THE ROOF FRAMING

EXISTING CONCRETE SLAB ON GRADE AND TRENCH/PIT DRAINS TO BE REMOVE AND REINSTATED WITH NEW CONCRETE SLAB

PROPOSED LOCATIONS OF INCREASING THE HEIGHT OF THE OVERHEAD DOORS. REMOVE AND REINSTATE LINTEL AS REQUIRED, AND JACK UP TO BEARING LOCATION. PROVIDE ADDITIONAL JACK AND KING STUDS AS REQUIRED.

22.25 m  
73' - 0"

12" DP WOOD I's @ 400 o.c.

12" DP WOOD I's @ 400 o.c.

9.25 m  
30' - 4"

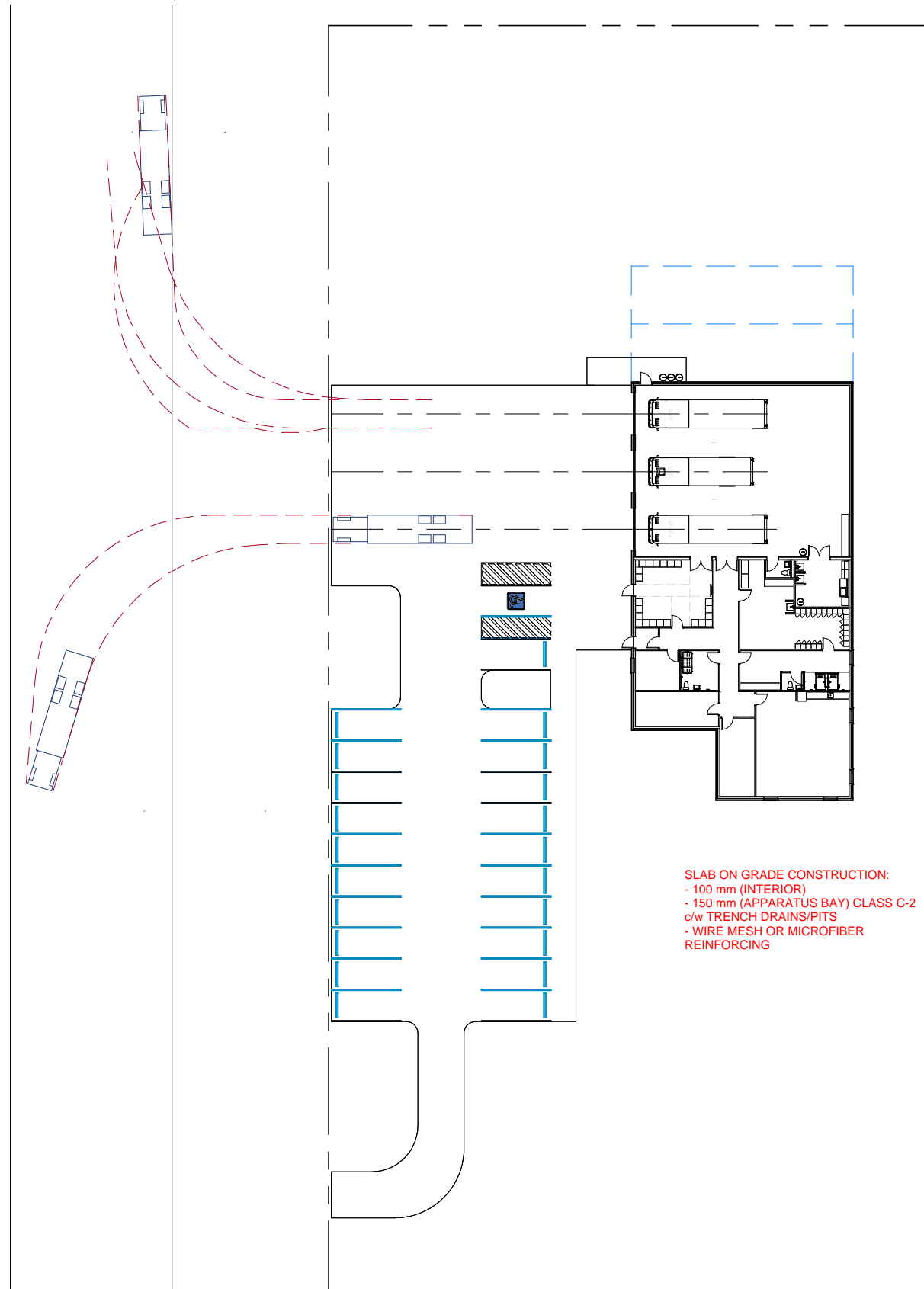
#3

#2

#1

21-0259 NATION MUNICIPALITY FIRE STATIONS - FEASIBILITY STUDY  
 22 07 21  
 CJE FINAL REPORT  
 APPENDIX A-01 - ST. ISIDORE

EX. LAUNDRY  
NEW ELECTRICAL ROOM

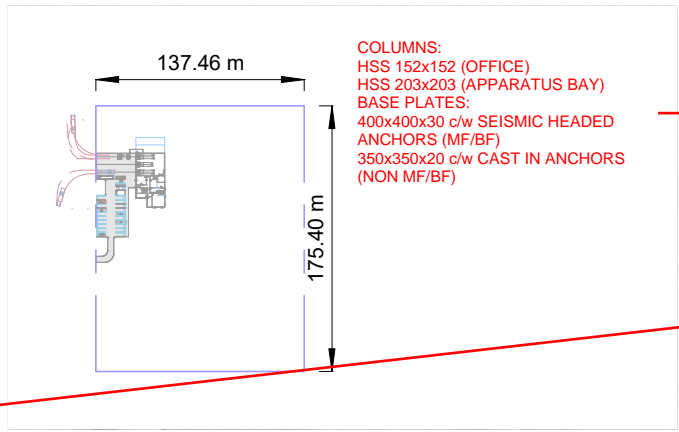


PARTIAL SITE PLAN 1:500

**CONCRETE FOOTINGS:**  
 - REQUIRE GEOTECH TO CONFIRM BEARING AND SITE CLASS  
 - CAN ASSUME 1500x1500x400 NON BF/MF COLUMNS  
 - 350x350x600 AT BF/MF COLUMNS  
 - 600x300 STRIP FOOTING AT PERIMETER

**EDGE OF DECK EXTENDS 1m BEYOND FRAMING LINE**  
 - EXTEND TOP CHORDS OF OWSJ (PERPENDICULAR CONDITIONS)  
 - C150x12 @ 1000 o.c. MOMENT CONNECTED TO TOP OF STEEL BEAMS  
 - L102x102x6.4 AT PERIMETER  
 - 38DP x 0.91 THICK GALVANIZED STEEL ROOF DECK

IN CASES WHERE SITE CLASS E OR F IS DETERMINED BY GEOTECHNICAL, ALL SPREAD FOOTINGS SHALL BE INTERCONNECTED IN BOTH ORTHOGONAL DIRECTIONS WITH FOUNDATION WALLS OR CONCRETE TIE BEAMS  
 - ASSUME 450x450 TIE BEAMS c/w 6-20M AND 10M TIES @ 300 o.c.



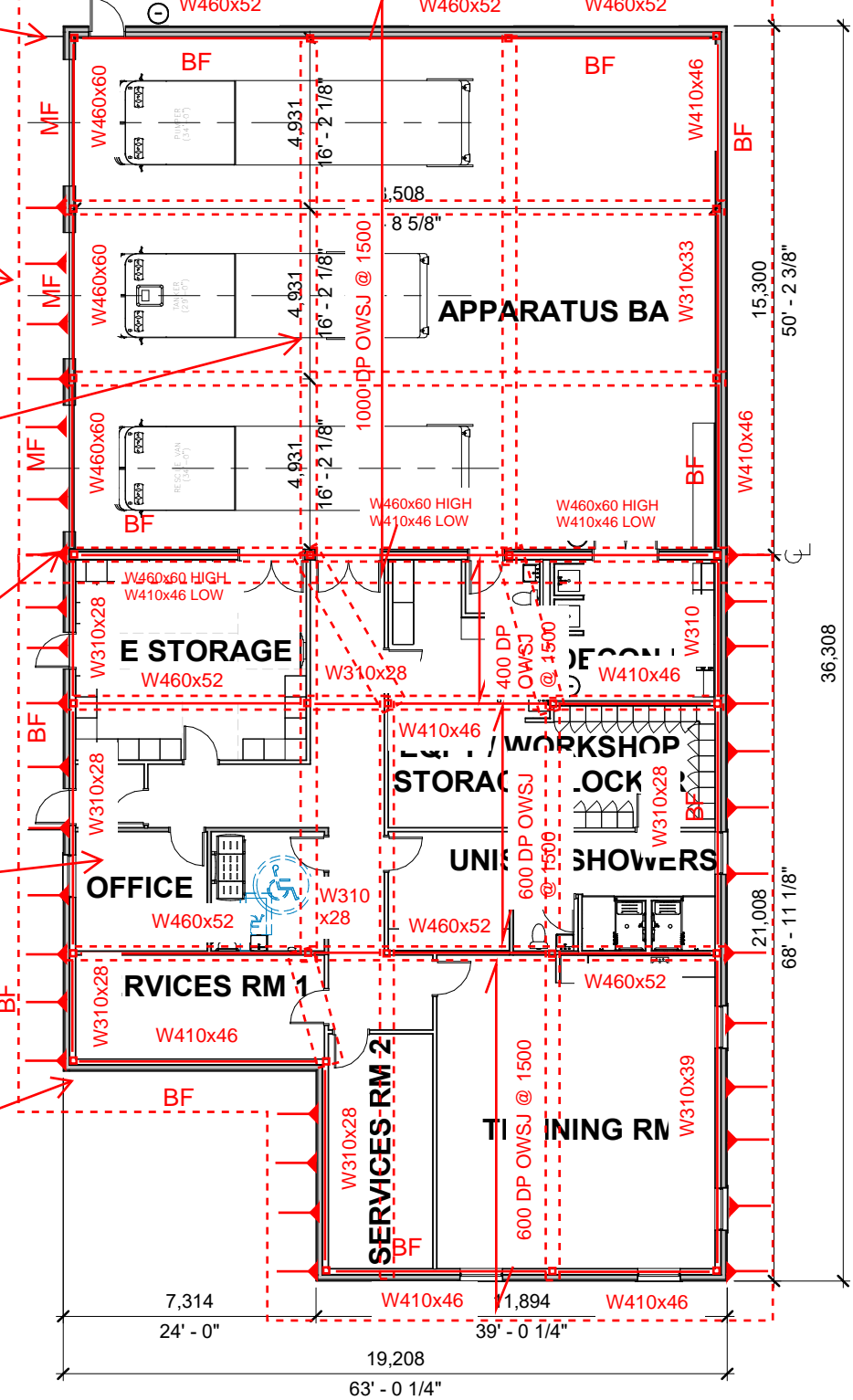
**COLUMNS:**  
 HSS 152x152 (OFFICE)  
 HSS 203x203 (APPARATUS BAY)  
**BASE PLATES:**  
 400x400x30 c/w SEISMIC HEADED ANCHORS (MF/BF)  
 350x350x20 c/w CAST IN ANCHORS (NON MF/BF)

**SLAB ON GRADE CONSTRUCTION:**  
 - 100 mm (INTERIOR)  
 - 150 mm (APPARATUS BAY) CLASS C-2 c/w TRENCH DRAINS/PITS  
 - WIRE MESH OR MICROFIBER REINFORCING

**BRACE FRAMES:**  
 HSS 152x152x9.5 BRACES

**CONCRETE PIERS:**  
 500x500 AT NON BFS  
 650x650 AT BFS

**ENTRANCE / UTILITY**



CONCEPTUAL PLAN 1:200

TABLOID (11"x17") 06/16/22

**IDEA**  
 INTEGRATED DESIGN  
 ENGINEERING + ARCHITECTURE  
 595 BYRON AVE., OTTAWA, ONT. K1A 4C4  
 T 613.728.0008 E info@integrateddesign.ca

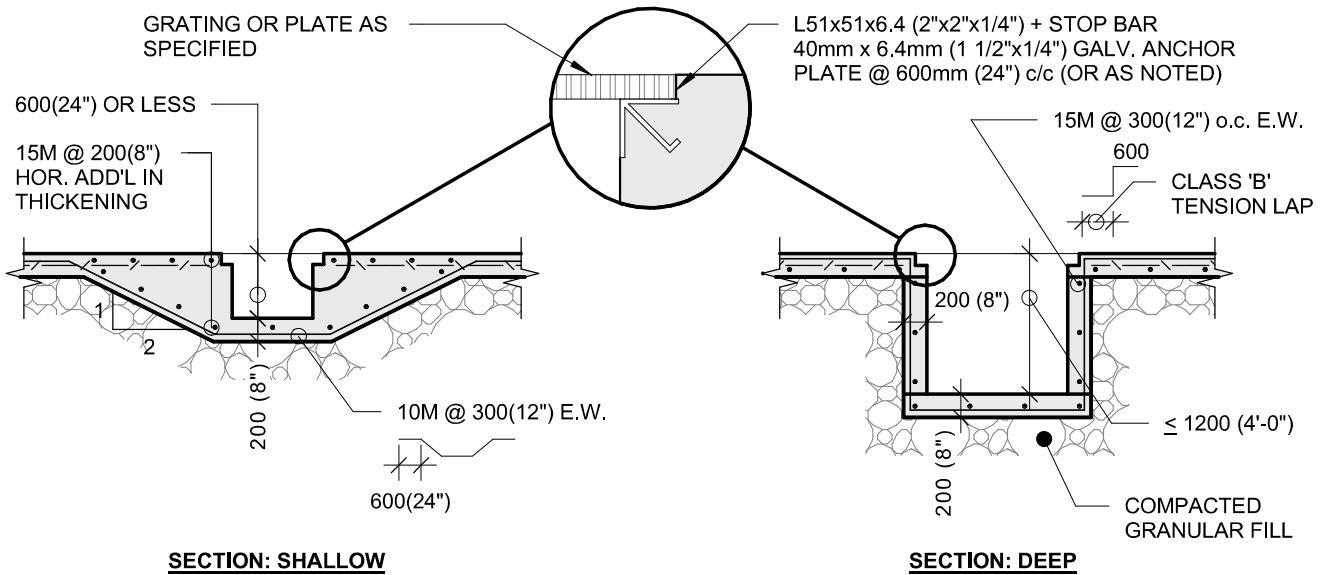
SEAL

Municipalité de La Nation  
 ST-ALBERT FIRE STATION #400  
**FUNCTIONAL PROGRAMMING**

21-0259 NATION MUNICIPALITY FIRE STATIONS - FEASIBILITY STUDY  
 22 07 21  
 CJE FINAL REPORT  
 APPENDIX A-02 - ST. ALBERT

SHEET NAME SHEET No. 06/16/22  
**400.1A**  
 CONCEPTUAL DESIGN  
 IDEA # CLIENT #  
 21634

**D03-11 PITS/TRENCHES, PADS AND CURBS U/N**



# Appendix E – Mechanical Design Brief – 400.1 St.-Albert

(4 pages) (Station 100.0 Mechanical components described in Section H.3)

## 1. General Requirements

The mechanical systems for this facility will be designed based on the following codes and standards:

- Ontario Building Code 2012
- Ontario Fire Code 2015
- ASHRAE 62.1-2010 – Ventilation for Acceptable Indoor Air Quality
- ASHRAE 90.1-2010 – Energy Standard for Buildings Except Low-Rise Residential Buildings

## 2. Plumbing Systems

### Plumbing Fixtures

New plumbing fixtures will be provided as shown on the concept plans and as noted below. The design intent is to provide the following:

- Toilets, floor-mounted tank-style with elongated bowl and manual dual flush;
- Lavatories, wall hung porcelain style with automatic faucets and manual temp override;
- Showers, prefabricated acrylic showers complete with grab bars, shower heads and wands, thermostatic mixing valve, fold down seats and drains to meet barrier free requirements;
- Kitchen sink, stainless steel with gooseneck facet, complete with dishwasher connection;
- Washing machine connection boxes with valves and drain at Decontamination Room;
- Janitor sink, floor mounted 2'x3' with service faucet in the service room;
- Laundry tub sink, with service faucet in the Equipment Storage and Decon. Room;
- Hose bibs, on perimeter of the Apparatus Bay, in the PPE Storage and Equipment Storage;
- Non freeze hose bibs (2), for general site use;
- Oil interceptor, in the apparatus bay, complete with venting and accessible clean out;
- Floor drains, in washroom and shower areas;
- Floor drains, in PPE Storage, Equip. Storage, Decon. Room, connected to oil interceptor;
- Trench drains with sediment buckets, in each bay of apparatus, connected to oil interceptor;
- Eyewash, wall mounted, c/w mixing valves in the Decon. Room and Service Room;
- Safety Shower with integral eyewash, in the Apparatus Bay c/w mixing valves;
- Drinking Fountain, double height, barrier-free with bottle filler and cooler.

### Sanitary

Underground sanitary piping system complete with all associated venting and clean outs will be installed and connected to each of the fixtures noted above. The major piping is anticipated to be 4" diameter, will be sloped at a minimum of 2%, and be routed through the central corridor system towards the building cleanout prior to connection to the site sanitary lateral connection to the septic system.

An oil interceptor will be provided and sized for the drains in the apparatus bay and associated floor drains in the adjacent service spaces. This system will be complete with floats and alarms.

### *Storm*

The building's sloped, butterfly roof systems will contain rainwater, directing it to an exterior discharge, collecting into a 10,000 gal underground cistern tank location, TBD. The rainwater harvesting system shall be complete with:

- Pre-Filter – WFF 300 WISY Vortex Filter – Jay R. Smith Model # RH9521-6;
- Underground Rainwater Cistern Tank – 10,000 gal – ZCL Model #Z120SW;
- Rainwater Cistern Submersible Pressure Pump – Goulds – 35gpm @ 150 FT;
- Expansion Tank and pressure switches;
- Rainwater Water Purification System c/w UV Light to filter and treat the water to a grey water level for the use of flushing all toilets, urinals, and Hose Bibs (interior and exterior);
- Rainwater Harvesting System Controller c/w audible and visual alarms with LED display;
- An overflow from the cistern will direct excess storm water to the site storm system;
- The BMS will monitor the cistern levels and provide top up water from the domestic supply as required.

Overflow roof scuppers will be provided as required by the OBC. Any canopy drains will be routed back into the building with the exterior portion insulated and heat traced.

### *Domestic Hot and Cold Water*

Incoming water for **non-potable** use +/- 1"Ø will be provided from the rainwater harvesting system.

Incoming **potable** water +/- 1"Ø. will be provided from a well and/or site holding tank – refer to civil. The incoming water will be complete with backflow preventor, shut off valve, and water treatment system c/w filters, water softener and UV treatment. It is anticipated that the new well will not have the capacity or flow required for the domestic water requirements of the building. Thus a new water buffer tank and pressure boosting pump system will likely be required similar to the following:

Reid Plumbing Products Model Herculan ConstaBoost. The Storage System shall be completely pre-assembled and shall fit through a 30" doorway. The system shall be supplied with inlet, outlet, pre-wired waterproof switches and built on five (2) 425-gallon HDPE tanks with 1/4" wall thickness. Booster Pumps and Motors shall be rated for 40 GPM at 60 psi. Complete with Variable Frequency Drive.

The potable water system will be used for all sink and showers. The non-potable system will be used for flushing toilets and hose bibs.

All domestic water piping shall be type L copper and shall be insulated in accordance with ASHRAE 90.1. Any exposed insulation shall be PVC wrapped. All domestic piping will be routed from the water room through the corridor ceilings to services all fixtures complete with shut off valves accessible from the corridor ceiling space and labelling to identify system type.

The domestic hot water will be provided by a propane-fired; high efficiency hot water tank similar to A.O. Smith BTX-100. The hot water tank will be mounted in the mechanical service space complete with venting, drain neutralizers recirc pumps. The tank will store water at 60°C, and thermostatic mixing valves will be provided at each of the lavatories.

Given the limited water supply, no truck filling station will be provided from this satellite station.

### *Gas*

Provide a propane tank system c/w with pad, fencing, vaporizer, and pressure regulators. Propane piping will serve air-handling units and radiant tube heaters. Confirm if stove in kitchen is to be electric, or if a gas connection will be required.

### *Compressed Air*

Provide an air compressor, ±5HP, 60 Gal., in the maintenance shop complete with associated driers, filters etc. This will be piped with trans air aluminum piping within the Apparatus Bay and Decon. Room for maintenance.

### **3. Fire Protection Systems**

A sprinkler system is not required for this building.

Provide, listed ABC, extinguishers throughout the building as required by the Ontario Fire Code.

### **4. Heating, Ventilation and Air-Conditioning (HVAC) Systems**

Fire Stations have very high exhaust and ventilation requirement that will be variable in nature due to the intermittent use of the facility. **The Client** has also requested that the primary source of heat be provided by in-slab heating for the efficiency and drying benefits particularly in the apparatus bay. As such we propose to use a hydronic heating system coupled with ERV's for ventilation and air source heat pumps for cooling in spot locations within the admin areas of the facility.

#### *Heating*

Provide a central heating plant, with a pair of wall mounted condensing boilers (400mbh ea), in the Service Room, complete with venting, primary pumping, air separators, expansion tank etc. The system will include 30% PG for burst protection and a glycol fill tank. Secondary redundant pumping and a bypass valve will provide distribution to the in-slab heating manifolds located throughout the facility. In-slab piping will be zoned to service the various space types with actuators and thermostats to allow for setback and independent space control.

Provide supplemental electric force flow heaters in the main vestibule.

Air curtains (without heat) will be provided by the garage doors in the apparatus bay.

#### *Ventilation and Exhaust*

Apparatus Bay and Decontamination Room will be served by an exhaust fan and ~3000cfm propane fired **roof mounted make-up air system** complete with filtration and variable speed fans. A gas monitoring system will be installed in the Apparatus Bay, connected to an **additional exhaust fan** and outside air louver. Set up fans to ensure a negative pressure in the Apparatus Bay and Decontamination Room relative to the admin portion of the facility.

The Client has indicated that a vehicle exhaust system is not required.

Admin area ventilation will be provided by a ~1500 CFM wall or ceiling hung ERV complete with variable speed fan, high efficiency energy core, dx cooling with remote condensing unit and electric preheat & reheat coils. Additional exhaust fans and fresh air louvers will be provided to ventilate the service rooms.

The kitchen is not proposed as a full cooking kitchen, rather a support kitchen for the meeting space where food is only re-heated. In this case, an NFPA-96 listed exhaust system is NOT required. No range is proposed for the kitchen.

Venting will be provided as required for the dryers, hot water tanks and boiler systems.

### *Cooling*

Ceiling fans will be provided within the apparatus bay for additional air movement.

A small 7.5 - 10 Ton VRF air source heat pump system will be provided to cool the admin portions of the facility. Evaporator units will be provided in each of the space types in either cassette, wall-hung or fan coil style as required to best distribute the cooled air. Refrigerant piping with branch selector boxes zoned by space type will be provided throughout the ceiling space complete with external insulation. Individual room controls will be linked to the evaporator units and the BAS system.

### *Control Systems*

A new web based BACIP control system will be provided for complete control of the mechanical systems in the building. The HVAC equipment, circulating pumps, exhaust fans, volume boxes, etc. will be connected to the new control system to allow remote monitoring of essential building functions. Some of the main control parameters will be temperature, humidity, and occupancy. All major equipment will be selected with BACnet IP controls where available. Gas sensors (CO, NOx) will be located in garage to monitor and control gas levels. Provide graphics and ensure the system operates on a web-based platform.

# Appendix F – Electrical Design Brief – 100.0 St Isidore

(3 pages)

## 1. General Requirements

The electrical systems for this facility will be designed based on the following codes and standards:

1. Ontario Building Code 2012 complete with all latest amendments/revisions
2. Ontario Fire Code 2015
3. 2018 Ontario Electrical Safety Code
4. ASHRAE 90.1-2013 – Energy Standard for Buildings Except Low-Rise Residential Buildings and Chapter 2 SB-10 (Division 3) for energy efficiency design.

## 2. Distribution

The existing main electrical service and main distribution equipment are currently located in a closet within the apparatus bay. The existing service consists of a 400A 600V three phase system fed from a pole mounted (assumed) 150kVA utility transformer stepped down to a 240/120V single phase system. In addition to powering the fire station, the main service also provides power to the Municipalities' Water Tower located behind the building through a series of 37.5kVA step-up and step-down transformers. Both the water tower and fire station have full back-up power provided to them via a 20kW 240/120V generator located on the fire stations premise.

The existing electrical closet currently houses the following equipment:

- Main disconnect switch
- Metering cabinet
- Two distribution splitters
- Back-up power ATS switch fed from a 240/120V step down transformer and exterior generator
- Two 240/120V power panels
- Disconnect switch feeding the facilities step down transformer mounted above the closet.
- Disconnect switch feeding the administrative areas 200A power panel.
- Disconnect switch feeding the step-up transformer for the townships water tower power supply located behind the fire stations property.

The location of the existing incoming service and main distribution equipment is not ideal and will be relocated to the adjacent repurposed laundry room to remove the distribution equipment from the apparatus bay and install it within its own dedicated room. The incoming service is currently routed underground from a hydro pole at the street, through the building into the closet within the apparatus bay. The concrete slab in the apparatus bay will need to be broken up to pull back the existing feeders and re-route them underground into the new location.

In conjunction with relocating the incoming service, the main distribution equipment will be replaced due to the condition of the original equipment from the 1986 original build. The building currently only uses a single phase of the incoming three phase service, so the new distribution equipment will utilize the entirety of the incoming service to provide additional power for the new mechanical equipment that will be provided for the apparatus bay, equipment, PPE and decontamination rooms. Upgrading to a three-phase service also requires that the existing and ATS switch are replaced to support the new system. The existing Hydro One metering will be able to be relocated and re-used.

The new electrical equipment will consist of the following:

- 400A 600V 3Ph 4W main disconnect switch with 200A fuses
- 400A 600V 3Ph 4W ATS switch for back-up power
- 150kVA 600V 3Ph 4W skintight stand-by generator
- 400A 600V 3Ph 4W main distribution panel
- 45kVA 600-240/120V 1Ph transformer for the existing office panel
- 75kVA 600-208/120YV 3Ph transformer
- 400A 208/120YV power panel

The New mechanical equipment will be powered via the 600V distribution system to reduce overall amperage of the equipment and in turn reduce breaker and wire sizes throughout the facility. The 208/120YV power system will be used to power lighting and general receptacles throughout the new addition. Power reels will be mounted to the ceiling in the apparatus bay to provide mobile plug-in capabilities for charging the fire station vehicles.

Surge protective devices will be installed for the main distribution panel and new downstream sub-panels to protect the electrical infrastructure from lighting strikes or any un-expected surges to ensure the building can remain online and operational.

### **3. Lighting**

The existing administrative area renovated in 2018 has been revised to LED fixtures and currently requires no additional renovations to the space. For the apparatus bay and support spaces added in the addition, energy efficient LED fixtures will be provided with the type of fixture to suit the application of each space. A minimum lumen maintenance value of L70@100,000 hours will be specified for the fixtures for a minimum life span of 10 years to ensure reliability of the fixtures and to reduce the need for maintenance and replacement at the facility. Lighting controls will be provided in accordance with ASHRAE 90.1 Energy Efficiency Requirements to reduce wasted energy from the lighting system when areas of the facility are not occupied. The controls will consist of occupancy sensors for a mixture of manual on/auto off and auto on/auto off controls throughout the renovated area. Photocells will be provided for the exterior lighting and interior spaces with maximum exposure to sunlight to take advantage of natural lighting within the space and again reduce energy consumption through the lighting system. The lighting fixture types throughout the space will be as follows:

- Apparatus Bay – Low-bay LED vapor tight fixtures to replace the existing
- Service spaces – Linear LED fixtures
- Exterior Lighting – Combination of LED wall packs to replace the existing

### **4. Fire Alarm**

A fire alarm system is not required for this building.

### **5. Security**

Rough-ins consisting of back boxes with conduits and pull strings will be added for the new addition and routed back to the existing security back-board. The new security system devices will be provided by the owner's security vendor. The existing security system will be relocated to the new electrical room with all new horizontal cabling out to existing devices.

## **6. Communication Systems**

The communication systems for this building are provided from three separate locations.

Internet is provided to the facility from the water tower via a fibre cable routed underground. The fibre is currently routed to an IT rack in the existing furnace room and is to remain existing in its current location.

The existing phone lines are routed underground from a bell pedestal located on De l'Arena St. in front of the facility and terminate in an electrical closet adjacent to the existing distribution closet in the apparatus bay. This equipment will be relocated to the new electrical room with new horizontal cabling out to the existing devices. A weatherproof enclosure will be provided to house a 100 pair bix mount at the existing location to patch the incoming telecommunication wires and extend over to the new demark location in the electrical room.

The fire station has a communication tower behind the building that houses a cell phone repeater for the community and an antenna for the fire stations radio system which is routed inside via coax cable within conduit to the dispatch area. This system is slated to remain existing in its current location.

# Appendix G – Electrical Design Brief – 400.1 St Albert

(2 pages)

## **1. General Requirements**

The electrical systems will be designed based on the following codes and standards:

1. Ontario Building Code 2012 complete with all latest amendments/revisions
2. Ontario Fire Code 2015
3. 2018 Ontario Electrical Safety Code
4. CSA C282-15 – Emergency Electrical Power Supply for Buildings
5. ASHRAE 90.1-2013 – Energy Standard for Buildings Except Low-Rise Residential Buildings and Chapter 2 SB-10 (Division 3) for energy efficiency design.

## **2. Distribution**

The main incoming electrical service will be provided by the contractor in conjunction with the LDC. At the proposed location the closest three phase overhead lines serving the township are approximately 300 meters away at the intersection of Rte 900 East and St. Albert Road. The LDC will need to provide additional O/H hydro poles and O/H cables along St. Albert Road to provide a three-phase service to this location. The LDC will provide one 300kVA, 600V, 3PH, 4W service including transformers and primary O/H cables from the new O/H hydro poles on St. Albert Road. The service conductors for the facility will be provided by the contractor and will be buried underground from the service transformer(s) at the nearest O/H hydro pole.

The main electrical room will be located at the front of the building near St. Albert Road to limit the length and size of the secondary conductors for the incoming service. The conductors will terminate on a 600V 400A service rated main disconnect switch with the following downstream equipment:

- 400A 600V electrical distribution panel
- 400A 600V automatic transfer switch (backup)
- 100A 600V automatic transfer switch (life-safety)
- 112.5kVA 600-208/120YV transformer
- Two 30kVA 600-208/120YV transformers
- 400A 208/120V panel for the apparatus bay
- 100A 208/120V panel for life-safety power
- Metering cabinet with Hydro One metering equipment installed inside
- 100A 208/120V sub-panel for the administrative area
- 300kW skintight standby CSA-282 compliant diesel generator located outside of building for full building back-up and life-safety power

Mechanical equipment will be powered via the 600V distribution system to reduce overall amperage of the equipment and in turn reduce breaker and wire sizes throughout the facility. The 208/120YV power system will be used to power lighting, general receptacles, office workstations, kitchen equipment etc. Power reels will be mounted to the ceiling in the apparatus bay to provide mobile plug-in capabilities for charging the fire station vehicles.

Surge protective devices will be installed for the main distribution panel and downstream sub-panels to protect the electrical infrastructure from lightning strikes or any un-expected surges to ensure the building can remain online given the post-disaster classification of the facility.

Given the size of the property at the proposed location for the new fire station, consideration should be taken to include for a solar array and battery storage system to enable off-grid power at the facility. Hydro One offers a Net Metering program in which the user can sell electricity generated from Renewable Energy Technologies to Hydro One's distribution system for a credit towards the building electricity cost. In addition to the renewable energy incentives, the solar array and battery storage can be utilized as redundant back-up power.

### **3. Lighting**

Energy efficient LED fixtures will be provided within the facility with the type of fixture to suit the application of each space. A minimum lumen maintenance value of L70@100,000 hours will be specified for the fixtures for a minimum life span of 10 years to ensure reliability of the fixtures and to reduce the need for maintenance and replacement at the facility. Lighting controls will be provided in accordance with ASHRAE 90.1 Energy Efficiency Requirements to reduce wasted energy from the lighting system when areas of the facility are not occupied. The controls will consist of occupancy sensors for a mixture of manual on/auto off and auto on/auto off controls throughout the facility with dimming in the administrative area. Photocells will be provided for the exterior lighting and interior spaces with maximum exposure to sunlight to take advantage of natural lighting within the space and again reduce energy consumption through the lighting system. The lighting fixture types throughout the space will be as follows:

- Office and training spaces – 2x2 or 2x4 LED troffers
- Apparatus Bay – Low-bay LED vapor tight fixtures
- Washrooms – LED down lighting and vanity lighting
- Service spaces – Linear LED fixtures
- Exterior Lighting – Combination of LED wall packs and LED pole lighting – dark sky compliant with full-cut off meeting IESNA recommendations

### **4. Fire Alarm**

A fire alarm system is not required for this building.

### **5. Security**

Rough-ins consisting of back boxes with conduits and pull strings routed back to a fire-rated security back-board in the main electrical room for an owner-supplied security system will be provided. The security system will be by the owner's security vendor later (ADT, Protectron etc...).

### **6. Communication Systems**

Two 4" conduits will be installed from the main electrical room underground to the street for phone and data connection to the owner's preferred vendors. A 4-post floor-mount data rack will be provided in the main electrical room complete with a 2.5kW UPS unit and patch panels for horizontal Cat6 data cabling to dispatch, office, and training areas. Horizontal cabling will be routed via conduit and j-hooks in the ceiling space. Communication equipment consisting of the facilities server, switches, and data storage will be provided by the owner's communication vendor. In the training room a projector mount, ceiling mounted speakers and A/V multimedia connections will be provided for presentations and crew training. The projector and AV equipment will be provided by the owner with rough-ins provided by the contractor. Provisions will be made for wireless access points throughout the building with two in the administrative area and one in the apparatus bay.

To accommodate the Nation Municipalities' Fire Station Radio system, a location on the roof of the facility will be designed to accommodate the installation of an owner supplied antenna with conduit and pull strings routed back to the dispatch area.

# Appendix I – Detailed Cost Estimate

6 pages

**Class D Construction Budget**

**+/- 30% Variance**

**PROJECT:** Nation Fire Stations  
**LOCATION:** Ottawa  
**Date:** 25-Jul-02  
**Rev.** 0

Building 100.0: St. Isidore - Renovation/Addition		Takeoff				Budget			
GFA - 744 m2						8,010 sf			
Element	Ratio to	Elemental	Unit	Unit Rate	Subtotal	Total	\$ per /m2	\$ per /sf	%
<b>A Shell</b>									
<b>A1 Substructure</b>						\$ 93,590.20	\$ 125.77	\$ 11.68	6%
<b>A11 Foundations</b>		0.27	204.00	m2	458.78	\$ 93,590.20	\$ 125.77	\$ 11.68	
<b>Strip Footings - New Addition Area A</b>		<b>FT1 - 920mm x 460mm (Assumed) - full perimeter of addition</b>							
- Concrete Supply		64.00	m						
- Forming, Pour, Finish, Strip		27.08	m3	187.50	\$ 5,078.40	\$ 5,078.40			
- Rebar Supply and Install		64.00	m	82.13	\$ 5,256.00	\$ 5,256.00			
		512.00	m	4.50	\$ 2,304.00	\$ 2,304.00			
<b>Foundation Walls - New Addition - Area A - Exterior Perimeter</b>		<b>F1 - 460mm x 2000mm (Assumed)</b>							
- Concrete Supply		128.00	m2						
- Forming, Pour, Finish, Strip		58.88	m3	225.00	\$ 13,248.00	\$ 13,248.00			
- Rebar Supply and Install		128.00	m2	137.50	\$ 17,600.00	\$ 17,600.00			
		956.00	m	6.50	\$ 6,214.00	\$ 6,214.00			
Foundation Layout/Equipment		1.00	ls	1000.00	\$ 1,000.00	\$ 1,000.00			
Concrete Pumping Allowance		3.00	ea	1250.00	\$ 3,750.00	\$ 3,750.00			
Weeping Tile		42.00	m	16.50	\$ 693.00	\$ 693.00			
Perimeter Insulation/Drainage		25.20	m2	48.44	\$ 1,220.65	\$ 1,220.65			
Dampproofing		100.80	m2	48.44	\$ 4,882.60	\$ 4,882.60			
<b>Foundation Excavation</b>									
- Excavation		144.00	m3	75.00	\$ 10,800.00	\$ 10,800.00			
- Backfill with Granulars & Compaction		116.92	m3	135.00	\$ 15,783.55	\$ 15,783.55			
- Dispose of Excess Soils		144.00	m3	40.00	\$ 5,760.00	\$ 5,760.00			
<b>A2 Structure</b>						\$ 172,618.18	\$ 231.97	\$ 21.55	11%
<b>A21 Lowest Floor Construction</b>		0.00	0.00	m2	0.00	\$ -	\$ -	\$ -	
<b>A22 Upper Floor Construction</b>		1.00	744.14	m2	158.29	\$ 117,787.76	\$ 158.29	\$ 14.71	
<b>Slab On Grade - Apparatus Bay</b>		<b>150mm Thick - assume to replace entire slab</b>							
- Concrete Supply		347.00	m2						
- Labour to Place Rebar, Pour & Finish		52.05	m3	200.00	\$ 10,410.00	\$ 10,410.00			
- form trench drains		347.00	m2	37.67	\$ 13,073.00	\$ 13,073.00			
microfirbe reinforcing		50.00	m	150.00	\$ 7,500.00	\$ 7,500.00			
<b>Recompact Existing Granular - Supply/Install/Compact</b>		347.00	m2	13.46	\$ 4,668.93	\$ 4,668.93			
		104.10	m3	110.00	\$ 11,451.00	\$ 11,451.00			
<b>Slab On Grade - New Addition - Area A</b>		<b>125mm Thick - thickened slabs at LB Wood Stud Walls</b>							
- Concrete Supply		204.00	m2						
- Labour to Place Rebar, Pour & Finish		25.50	m3	200.00	\$ 5,100.00	\$ 5,100.00			
microfirbe reinforcing		204.00	m2	37.67	\$ 7,685.57	\$ 7,685.57			
<b>Granular Supply/Install/Compact - Sub-base</b>		204.00	m2	5.50	\$ 1,122.00	\$ 1,122.00			
		61.20	m3	110.00	\$ 6,732.00	\$ 6,732.00			
VB/U/S Insulation		551.00	m2	26.00	\$ 14,326.00	\$ 14,326.00			
2x6 Wood Stud Walls c/w 1/2" plywood 1 side at exterior		220.90	m2	104.41	\$ 23,064.56	\$ 23,064.56			
2x6 Wood Stud Walls c/w 1/2" plywood 1 side at shear		121.20	m2	104.41	\$ 12,654.71	\$ 12,654.71			
<b>A23 Roof Construction</b>						\$ 54,830.42	\$ 73.68	\$ 6.85	
<b>Roof</b>		0.27	204.00	m2	268.78	\$ 54,830.42	\$ 73.68	\$ 6.85	
12" DP Wood I's		600.00	m	49.83	\$ 29,898.80	\$ 29,898.80			
1/2" T&G Plywood Sheathing		240.00	m2	41.00	\$ 9,840.00	\$ 9,840.00			
Miscellaneous Fasteners		1.00	ls	15091.61	\$ 15,091.61	\$ 15,091.61			
<b>A3 Exterior Enclosure</b>						\$ 295,007.57	\$ 396.44	\$ 36.83	18%
<b>A32 Walls Above Grade</b>		0.18	134.88	m2	707.78	\$ 95,461.64	\$ 128.28	\$ 11.92	
<b>Exterior Wall</b>		<b>Arch blok/pre-finished siding</b>							
- 190x390x90 face block - Permacon Nobel		36.90	m2	243.91	\$ 9,000.45	\$ 9,000.45			
- 22ga pre-finished metal siding - ideal roofing		97.98	m2	250.00	\$ 24,493.75	\$ 24,493.75			
- Horizontal/Vertical Z-Girts (@1220mm)		97.98	m2	30.00	\$ 2,939.25	\$ 2,939.25			
- 127mm semi rigid insulation		134.88	m2	121.32	\$ 16,363.69	\$ 16,363.69			
- 50mm semi rigid insulation		134.88	m2	54.05	\$ 7,289.89	\$ 7,289.89			
- blueskin membrane		134.88	m2	145.20	\$ 19,584.04	\$ 19,584.04			
- 16mm ext grade glass reinforced sheathing		134.88	m2	30.00	\$ 4,046.25	\$ 4,046.25			
- Batt Insulation at Studs		134.88	m2	54.00	\$ 7,283.25	\$ 7,283.25			
- Vapour Barrier		134.88	m2	9.00	\$ 1,213.88	\$ 1,213.88			
- Interior Gypsum Board		131.20	m2	24.75	\$ 3,247.20	\$ 3,247.20			
<b>A33 Windows &amp; Entrances</b>		1.00	744.14	m2	95.41	\$ 71,000.00	\$ 95.41	\$ 8.86	
Hollow Metal Doors/Frames - Single		2.00	ea	2500.00	\$ 5,000.00	\$ 5,000.00			
Overhead Door		3.00	ea	22000.00	\$ 66,000.00	\$ 66,000.00			
<b>A34 Roof Coverings</b>		0.65	480.00	m2	177.61	\$ 85,251.67	\$ 114.56	\$ 10.64	
Standing Seam Roof		240.00	m2	290.63	\$ 69,751.37	\$ 69,751.37			
Roof Insulations		240.00	m2	64.58	\$ 15,500.30	\$ 15,500.30			
<b>A35 Projections</b>		1.00	744.14	m2	58.18	\$ 43,294.27	\$ 58.18	\$ 5.41	
Flat Roof Parapet/Roof Works - Carpentry/Flashings		116.00	m	300.00	\$ 34,800.00	\$ 34,800.00			
Miscellaneous Caulking		1.00	ls	5000.00	\$ 5,000.00	\$ 5,000.00			
Soffit, Gutters, Downspouts, Fascia & Associated Framing		42.60	m	82.03	\$ 3,494.27	\$ 3,494.27			
<b>B Interiors</b>									
<b>B1 Partitions &amp; Doors</b>						\$ 26,805.09	\$ 36.02	\$ 3.35	2%
<b>B11 Partitions</b>		0.04	28.80	m2	236.29	\$ 6,805.09	\$ 9.14	\$ 0.85	
Steel Studs		28.80	m2	16.15	\$ 465.01	\$ 465.01			
Drywall & Sound Batt		57.60	m2	75.35	\$ 4,340.09	\$ 4,340.09			
Misc Metal Blockings		1.00	ls	2000.00	\$ 2,000.00	\$ 2,000.00			
<b>B12 Doors</b>		0.01	7.00	pcs	2857.14	\$ 20,000.00	\$ 26.88	\$ 2.50	
Hollow Metal Doors/Frames - Double, Full Lite		1.00	ea	2200.00	\$ 2,200.00	\$ 2,200.00			
Hollow Metal Doors/Frames - Single, Full Lite		6.00	ea	1500.00	\$ 9,000.00	\$ 9,000.00			
Hardware		8.00	pcs	1100.00	\$ 8,800.00	\$ 8,800.00			
<b>B2 Finishes</b>						\$ 40,436.16	\$ 54.34	\$ 5.05	2%
<b>B21 Floor Finishes</b>		0.74	551.00	m2	22.08	\$ 12,168.35	\$ 16.35	\$ 1.52	
Sealed Concrete		551.00	m2	20.00	\$ 11,020.00	\$ 11,020.00			
Floor Base		140.00	m	8.20	\$ 1,148.35	\$ 1,148.35			
<b>B22 Ceiling Finishes</b>		1.00	744.14	m2	16.54	\$ 12,308.95	\$ 16.54	\$ 1.54	
Drywall Ceilings/Bulkheads		168.00	m2	48.44	\$ 8,137.66	\$ 8,137.66			
Drywall Ceilings/Bulkheads		36.00	m2	59.20	\$ 2,131.29	\$ 2,131.29			
Paint Drywall Ceilings/Bulkheads		204.00	m2	10.00	\$ 2,040.00	\$ 2,040.00			
<b>B23 Wall Finishes</b>		1.00	744.14	m2	21.45	\$ 15,958.85	\$ 21.45	\$ 1.99	
Paint		907.20	m2	9.69	\$ 8,788.67	\$ 8,788.67			
Ceramic Tile		55.51	m2	129.17	\$ 7,170.18	\$ 7,170.18			
<b>B3 Fittings &amp; Equipment</b>						\$ 33,500.00	\$ 45.02	\$ 4.18	2%
<b>B31 Fittings &amp; Fixtures</b>		1.00	744.14	m2	45.02	\$ 33,500.00	\$ 45.02	\$ 4.18	

<b>Metals</b>									
<b>Millwork</b>									
- Decontamination Room	Upper Lower Cabinets/SS Tops	10.00	m	2,100.00	\$	21,000.00	\$	21,000.00	
Lockers		36.00	ea	250.00	\$	9,000.00	\$	9,000.00	
Visual Display Boards	Chalk/Marker/Cork	1.00	ls	3,500.00	\$	3,500.00	\$	3,500.00	
<b>C Mechanical/Electrical</b>									
<b>C1 Mechanical</b>									
<b>C11 Plumbing &amp; Drainage</b>									
	Assumed Qty of Fixtures	1.00	744.14	m2	\$	268.91	\$	87,163.25	\$ 334.50 \$ 31.08 15%
Plumbing & Piping		15.00	fixt	1800.00	\$	27,000.00	\$	27,000.00	
Pipe Insulation	Allowance	1.00	ls	7,500.00	\$	7,500.00	\$	7,500.00	
New Trench Drains		50.00	m	213.27	\$	10,663.25	\$	10,663.25	
Oil Interceptor	apparatus bay	1.00	ls	30,000.00	\$	30,000.00	\$	30,000.00	
Upgrade Compressed Air System		1.00	ls	12,000.00	\$	12,000.00	\$	12,000.00	
<b>C12 Fire Protection</b>									
	Assume Not Sprinklered	1.00	744.14	m2	\$	75.63	\$	500.00	\$ 0.67 \$ 0.06
Potable Fire Extinguishers		1.00	ls	500.00	\$	500.00	\$	500.00	
<b>C13 HVAC</b>									
	Distribution ONLY - connect to existing systems - No Design Brief for Renovation	1.00	744.14	m2	\$	432.77	\$	139,550.89	\$ 187.53 \$ 17.42
HVAC		744.14	m2	32.29	\$	24,030.00	\$	24,030.00	
VAV Boxes	Allowance for VAV Boxes for control	4.00	no	3200.00	\$	12,800.00	\$	12,800.00	
Ceiling Fans	Apparatus Bay	6.00	ea	2,000.00	\$	12,000.00	\$	12,000.00	
Exhaust Fans and Louvres		350.00	m2	59.20	\$	20,720.89	\$	20,720.89	
CO2 Monitoring interconnected to Separate Exhaust Fan	Apparatus Bay	1.00	ls	10,000.00	\$	10,000.00	\$	10,000.00	
Propane Fired Roof Mounted Make Up Air System		1.00	no	15,000.00	\$	15,000.00	\$	15,000.00	
New Unit Heaters - Propane		1.00	ls	12,000.00	\$	12,000.00	\$	12,000.00	
ERV's		1.00	ls	15,000.00	\$	15,000.00	\$	15,000.00	
New Split System	PPE/Decontamination Rooms	1.00	ls	18,000.00	\$	18,000.00	\$	18,000.00	
<b>C14 Controls</b>									
	Assume new T Stats	1.00	744.14	m2	\$	184.87	\$	14,000.00	\$ 18.81 \$ 1.75
Systems - Integrated to Existing BAS		4.00	no	3,500.00	\$	14,000.00	\$	14,000.00	
<b>Misc Mechanical</b>									
	Connections to Existing	1.00	744.14	m2	\$	184.87	\$	7,700.00	\$ 10.35 \$ 0.96
Mechanical Cut & Patch		1.00	ls	1200.00	\$	1,200.00	\$	1,200.00	
Mechanical Demolition	Allowance - Minor (Assume Non Hazardous Materials)	1.00	ls	2000.00	\$	2,000.00	\$	2,000.00	
Mechanical Firestopping	Allowance	1.00	ls	2000.00	\$	2,000.00	\$	2,000.00	
Mechanical Seismic Bracing	Assumed Requirement	1.00	ls	2500.00	\$	2,500.00	\$	2,500.00	
<b>C2 Electrical</b>									
<b>C21 Electrical</b>									
	New LED for Addition and Aparatus Bay and Exterior	1.00	744.14	m2	\$	168,075.01	\$	225.86	\$ 20.98 10%
Lighting		1.00	ls	35000.00	\$	35,000.00	\$	35,000.00	
Lighting Control	Occupancy Sensors, Photocells and Switches	1.00	ls	10000.00	\$	10,000.00	\$	10,000.00	
Distribution	NEw Equipment and Relocate Existing	744.14	m2	114.33	\$	85,075.01	\$	85,075.01	
Security	roughins - back bxs and conduit - New Addition	1.00	ls	5500.00	\$	5,500.00	\$	5,500.00	
Emergency Generator	150kVA 600V 3Ph 4W skin tight stand-by generator	1.00	no	12000.00	\$	12,000.00	\$	12,000.00	
Fire Alarm	Not Required								
<b>C22 Data</b>									
	Allowance - Relocate existing phone + add for new	1.00	744.14	m2	\$	6.72	\$	5,000.00	\$ 6.72 \$ 0.62
Data and Communications		1.00	ls	5000.00	\$	5,000.00	\$	5,000.00	
<b>Misc Electrical</b>									
	underground excavation/backfill	1.00	744.14	m2	\$	20.83	\$	15,500.00	\$ 20.83 \$ 1.94
Electrical Cut & Patch - Architectural		1.00	ls	6500.00	\$	6,500.00	\$	6,500.00	
Electrical Demolition	Allowance	1.00	ls	5000.00	\$	5,000.00	\$	5,000.00	
Electrical Firestopping	Allowance	1.00	ls	1500.00	\$	1,500.00	\$	1,500.00	
Electrical Seismic Bracing	Allowance	1.00	ls	2500.00	\$	2,500.00	\$	2,500.00	
<b>D Site &amp; Ancillary Work</b>									
<b>D1 Site Work</b>									
<b>D11 Site Development</b>									
	repairs to existing	1.00	744.14	m2	\$	15.72	\$	11,700.00	\$ 15.72 \$ 1.46 1%
Paving		100.00	m2	75.00	\$	7,500.00	\$	7,500.00	
Line Painting	Allowance	1.00	ls	1,200.00	\$	1,200.00	\$	1,200.00	
Spray hydroseed	Scope unknown	1.00	ls	3,000.00	\$	3,000.00	\$	3,000.00	
<b>D13 Electrical Site Services</b>									
	Assume Not Required	0.00	0.00	m2	\$	0.00	\$	-	\$ - \$ -
<b>D2 Ancillary Work</b>									
<b>D21 Demolition/Hazardous Materials</b>									
	Assume no Hazardous Materials Available	1.00	744.14	m2	\$	48.09	\$	35,786.96	\$ 48.09 \$ 4.47 2%
		1.00	ls	35,786.96	\$	35,786.96	\$	35,786.96	
Interior Demolition	Demo Interior Wood Stud/Drywall Partition and existing block "curb" to below slab - Btn NFD bay and Public Works Bay (non load bearing)	103.50	m2	26.91	\$	2,785.21	\$	2,785.21	
	Sawcut and remove existing SOG Apparatus Bay AreaB	347.00	m2	59.20	\$	20,543.28	\$	20,543.28	
	Demo existing OH doors, shore, cut new enlarged opening	2.00	no	3,000.00	\$	6,000.00	\$	6,000.00	
Exterior Demolition - Assume Non-Hazardous Removals	Demo asphalt paving for new addition	300.00	m2	\$21.53	\$	6,458.46	\$	6,458.46	
<b>New Building</b>									
<b>NET CONSTRUCTION COST</b>									
						\$	1,126,433.31	\$	1,513.74 \$ 140.63 69%
<b>Z General Requirements &amp; Allowances</b>									
						\$	237,677.43	\$	319.40 \$ 29.67 15%
<b>Z1 General Requirements &amp; Fee</b>									
<b>Z11 General Conditions/Requirements</b>									
		10.0%			\$	1,126,433.31	\$	112,643.33 \$ 112,643.33 \$ 151.37 \$ 14.06	
<b>Z12 Lump Sum Fee</b>									
		10.0%			\$	1,126,433.31	\$	112,643.33 \$ 112,643.33 \$ 151.37 \$ 14.06	
<b>Z13 Insurance and Bonding</b>									
	Bonding Included	1.10%			\$	1,126,433.31	\$	12,390.77 \$ 12,390.77 \$ 16.65 \$ 1.55	
<b>TOTAL CONSTRUCTION ESTIMATE</b>									
						\$	1,364,110.74	\$	1,833.14 \$ 170.30 83%
<b>Z2 Contingencies</b>									
<b>Z23 Construction Contingency/Market Escalation</b>									
		10.0%			\$	136,411.07	\$	183.31 \$ 17.03	
<b>Z23 Design Contingency</b>									
		10.0%			\$	136,411.07	\$	183.31 \$ 17.03	
<b>TOTAL CONSTRUCTION ESTIMATE - INCLUDING CONTINGENCIES</b>									
						\$	1,636,932.88	\$	2,199.76 \$ 204.36 100%
<b>Z3 Design &amp; Engineering</b>									
<b>Z31 Design &amp; Engineering</b>									
	NIC	0.00	ls	\$	-	\$	-	\$	-
<b>Z32 Municipal and Regional Charges</b>									
	NIC	0.00	ls	\$	-	\$	-	\$	-
Building Permit	NIC	0.00	ls	\$	-	\$	-	\$	-
Development Charges	NIC	0.00	sm	\$	-	\$	-	\$	-
SPA	NIC	0.00	ls	\$	-	\$	-	\$	-
Other Fees/Charges	NIC	0.00	ls	\$	-	\$	-	\$	-
<b>HST</b>									
	NIC					\$	-	\$	-
TOTAL	TOTAL CLASS D - CONSTRUCTION BUDGET +/- 30%					\$	1,636,932.88	\$	2,199.76 \$ 204.36 100%
		30%				\$	2,128,012.75		
		-30%				\$	1,145,853.02		

**Class D Construction Budget**

**+/- 30% Variance**

**PROJECT:** Nation Fire Stations  
**LOCATION:** Ottawa  
**Date:** 25-Jul-02  
**Rev.** 0

Building 100.0: St. Isidore - New Building		Takeoff				Budget			
GFA - 1,100 m2						10,226 sf			
Element	Ratio to	Elemental	Unit	Unit Rate	Subtotal	Total	\$ per /m2	\$ per /sf	%
<b>A Shell</b>									
<b>A1 Substructure</b>						\$ 541,645.46	\$ 492.40	\$ 45.75	7%
<b>A11 Foundations</b>	1.00	1,100.00	m2	492.40		\$ 541,645.46	\$ 492.40	\$ 45.75	
<b>A2 Structure</b>						\$ 1,044,184.05	\$ 949.26	\$ 102.11	13%
<b>A21 Lowest Floor Construction</b>	1.00	1,100.00	m2	5.38		\$ 5,923.08	\$ 5.38	\$ 0.50	
<b>A22 Upper Floor Construction</b>	1.00	1,100.00	m2	366.34		\$ 402,975.31	\$ 366.34	\$ 39.41	
<b>A23 Roof Construction</b>	1.00	1,100.00	m2	577.53		\$ 635,285.67	\$ 577.53	\$ 62.13	
<b>A3 Exterior Enclosure</b>						\$ 1,225,549.69	\$ 1,114.14	\$ 119.85	15%
<b>A32 Walls Above Grade</b>	1.00	1,100.00	m2	580.19		\$ 638,211.81	\$ 580.19	\$ 62.41	
<b>A33 Windows &amp; Entrances</b>	1.00	1,100.00	m2	178.54		\$ 196,392.31	\$ 178.54	\$ 19.21	
<b>A34 Roof Coverings</b>	1.00	1,100.00	m2	279.87		\$ 307,853.26	\$ 279.87	\$ 30.11	
<b>A35 Projections</b>	1.00	1,100.00	m2	75.54		\$ 83,092.31	\$ 75.54	\$ 8.13	
<b>B Interiors</b>									
<b>B1 Partitions &amp; Doors</b>						\$ 239,458.88	\$ 217.69	\$ 23.42	3%
<b>B11 Partitions</b>	1.00	1,100.00	m2	99.84		\$ 109,828.11	\$ 99.84	\$ 10.74	
<b>B12 Doors</b>	1.00	1,100.00	m2	117.85		\$ 129,630.77	\$ 117.85	\$ 12.68	
<b>B2 Finishes</b>						\$ 179,823.21	\$ 163.48	\$ 17.59	2%
<b>B21 Floor Finishes</b>	1.00	1,100.00	m2	61.01		\$ 67,109.24	\$ 61.01	\$ 6.56	
<b>B22 Ceiling Finishes</b>	1.00	1,100.00	m2	42.40		\$ 46,634.96	\$ 42.40	\$ 4.56	
<b>B23 Wall Finishes</b>	1.00	1,100.00	m2	60.07		\$ 66,079.01	\$ 60.07	\$ 6.46	
<b>B3 Fittings &amp; Equipment</b>						\$ 148,938.90	\$ 135.40	\$ 14.57	2%
<b>B31 Fittings &amp; Fixtures</b>	1.00	1,100.00	m2	70.40		\$ 77,438.90	\$ 70.40	\$ 7.57	
<b>B33 Specialties - Hose Drying Tower</b>	1.00	13.00	m2	5500.00		\$ 71,500.00	\$ 65.00	\$ 6.99	
<b>C Mechanical/Electrical</b>									
<b>C1 Mechanical</b>						\$ 1,066,406.05	\$ 969.46	\$ 104.29	13%
<b>C11 Plumbing &amp; Drainage</b>	1.00	1,100.00	m2	\$ 381.94		\$ 420,128.54	\$ 381.94	\$ 41.09	
<b>C12 Fire Protection</b>	1.00	1,100.00	m2	\$ 0.77	Assume Not Sprinklered	\$ 846.15	\$ 0.77	\$ 0.08	
<b>C13 HVAC</b>	1.00	1,100.00	m2	\$ 432.77		\$ 476,050.42	\$ 432.77	\$ 46.55	
<b>C14 Controls</b>	1.00	1,100.00	m2	\$ 117.06		\$ 128,765.55	\$ 117.06	\$ 12.59	
<b>C2 Electrical</b>						\$ 510,964.31	\$ 464.51	\$ 49.97	6%
<b>C21 Electrical</b>	1.00	1,100.00	m2	\$ 407.92		\$ 448,711.07	\$ 407.92	\$ 43.88	
<b>C22 Data</b>	1.00	1,100.00	m2	\$ 32.75		\$ 36,022.47	\$ 32.75	\$ 3.52	
<b>Misc Electrical</b>	1.00	1,100.00	m2	\$ 23.85		\$ 26,230.77	\$ 23.85	\$ 2.57	
<b>D Site &amp; Ancillary Work</b>									
<b>D1 Site Work</b>						\$ 945,153.85	\$ 859.23	\$ 92.43	11%
<b>D11 Site Development</b>	1.00	1,100.00	m2	800.77		\$ 880,846.15	\$ 800.77	\$ 86.14	
<b>D13 Electrical Site Services</b>	1.00	1,100.00	m2	58.46		\$ 64,307.69	\$ 58.46	\$ 6.29	
<b>D2 Ancillary Work</b>						\$ -	\$ -	\$ -	0%
<b>D21 Demolition/Hazardous Materials</b>	0.00	0.00	m2	0.00	Assume no Hazardous Materials Available	\$ -	\$ -	\$ -	
New Building									
<b>NET CONSTRUCTION COST</b>						\$ 5,902,124.39	\$ 5,365.57	\$ 577.18	72%
<b>Z General Requirements &amp; Allowances</b>									
<b>Z1 General Requirements &amp; Fee</b>						\$ 950,242.03	\$ 863.86	\$ 92.93	12%
<b>Z11 General Conditions/Requirements</b>		10.0%		\$ 5,902,124.39	\$ 590,212.44	\$ 590,212.44	\$ 536.56	\$ 57.72	
<b>Z12 Lump Sum Fee</b>		5.0%		\$ 5,902,124.39	\$ 295,106.22	\$ 295,106.22	\$ 268.28	\$ 28.86	
<b>Z13 Insurance and Bonding</b>		1.0%		\$ 5,902,124.39	\$ 64,923.37	\$ 64,923.37	\$ 59.02	\$ 6.35	
<b>TOTAL CONSTRUCTION ESTIMATE</b>						\$ 6,852,366.42	\$ 6,229.42	\$ 670.11	83%
<b>Z2 Contingencies</b>									
<b>Z23 Construction Contingency/Market Escalation</b>		10.0%				\$ 685,236.64	\$ 622.94	\$ 67.01	
<b>Z23 Design Contingency</b>		10.0%				\$ 685,236.64	\$ 622.94	\$ 67.01	
<b>TOTAL CONSTRUCTION ESTIMATE - INCLUDING CONTINGENCIES</b>						\$ 8,222,839.70	\$ 7,475.31	\$ 804.13	100%
<b>Z3 Design &amp; Engineering</b>									
<b>Z31 Design &amp; Engineering</b>		NIC				\$ -	\$ -	\$ -	
<b>Z32 Municipal and Regional Charges</b>		NIC				\$ -	\$ -	\$ -	
<b>Building Permit</b>		NIC	0.00	ls	\$ -	\$ -	\$ -	\$ -	
<b>Development Charges</b>		NIC	0.00	sm	\$ -	\$ -	\$ -	\$ -	
<b>SPA</b>		NIC	0.00	ls	\$ -	\$ -	\$ -	\$ -	
<b>Other Fees/Charges</b>		NIC	0.00	ls	\$ -	\$ -	\$ -	\$ -	
<b>HST</b>									
<b>HST</b>		NIC				\$ -	\$ -	\$ -	
<b>TOTAL TOTAL CLASS D - CONSTRUCTION BUDGET +/- 30%</b>						\$ 8,222,839.70	\$ 7,475.31	\$ 804.13	100%
						30%			
						\$ 10,689,691.61			
						-30%			
						\$ 5,755,987.79			

**Class D Construction Budget**

+/- 30% Variance

**PROJECT:** Nation Fire Stations  
**LOCATION:** Ottawa  
**Date:** 25-Jul-02  
**Rev.** 0

Building 400.0: St. Albert - New Building		Takeoff				Budget				
GFA - 650 m2		Ratio to	Elemental	Unit	Unit Rate	Subtotal	Total	\$ per /m2	6,997 sf	%
<b>A Shell</b>										
<b>A1 Substructure</b>										
<b>A11 Foundations</b>		1.00	650.00	m2	492.40		\$ 320,063.23	\$ 492.40	\$ 45.75	7%
<b>Strip Footings</b>		<b>FT1 - 600mm x 300mm (Assumed) - full perimeter</b>								
- Concrete Supply			110.00	m						
- Forming, Pour, Finish, Strip			19.80	m3	187.50	\$ 3,712.50	\$ 3,712.50			
- Rebar Supply and Install			110.00	m	82.13	\$ 9,033.75	\$ 9,033.75			
			440.00	m	4.50	\$ 1,980.00	\$ 1,980.00			
<b>Pier Footings</b>		<b>PFT1 - 3500mm x 3500mm x 600mm Non BF/MF Columns</b>								
- Concrete Supply			16.00	no						
- Forming, Pour, Finish, Strip			117.60	m3	187.50	\$ 22,050.00	\$ 22,050.00			
- Rebar Supply and Install			16.00	no	312.50	\$ 5,000.00	\$ 5,000.00			
			16.00	no	150.00	\$ 2,400.00	\$ 2,400.00			
<b>Pier Footings</b>		<b>PFT2 - 1500mm x 1500mm x 400mm Non BF/MF Columns</b>								
- Concrete Supply			13.00	no						
- Forming, Pour, Finish, Strip			11.70	m3	187.50	\$ 2,193.75	\$ 2,193.75			
- Rebar Supply and Install			13.00	no	312.50	\$ 4,062.50	\$ 4,062.50			
			13.00	no	100.00	\$ 1,300.00	\$ 1,300.00			
<b>Foundation Walls - Apparatus Bay</b>		<b>F1 - 515mm x 1500mm</b>								
- Concrete Supply			75.00	m2						
- Forming, Pour, Finish, Strip			38.63	m3	225.00	\$ 8,690.63	\$ 8,690.63			
- Rebar Supply and Install			75.00	m2	137.50	\$ 10,312.50	\$ 10,312.50			
			1000.00	m	6.50	\$ 6,500.00	\$ 6,500.00			
<b>Foundation Walls - Admin Wing</b>		<b>F1 - 460mm x 1500mm</b>								
- Concrete Supply			91.50	m2						
- Forming, Pour, Finish, Strip			137.25	m3	225.00	\$ 30,881.25	\$ 30,881.25			
- Rebar Supply and Install			91.50	m2	137.50	\$ 12,581.25	\$ 12,581.25			
			1220.00	m	6.50	\$ 7,930.00	\$ 7,930.00			
<b>Foundation Walls/Tie Beams - If Site Class E or F</b>		<b>TB - 450mm x 450mm each direction</b>								
- Concrete Supply			205.00	m						
- Forming, Pour, Finish, Strip			41.51	m3	225.00	\$ 9,340.31	\$ 9,340.31			
- Rebar Supply and Install			205.00	m	137.50	\$ 28,187.50	\$ 28,187.50			
			205.00	m	25.00	\$ 5,125.00	\$ 5,125.00			
<b>Piers -</b>		<b>P1 - 500mm x 500mm x 1500mm</b>								
- Concrete Supply			13.00	no						
- Forming			4.88	m3	225.00	\$ 1,096.88	\$ 1,096.88			
- Labour to Pour, Finish, & Strip			13.00	no	250.00	\$ 3,250.00	\$ 3,250.00			
- Rebar Supply and Install			13.00	no	250.00	\$ 3,250.00	\$ 3,250.00			
			13.00	no	250.00	\$ 3,250.00	\$ 3,250.00			
<b>Piers</b>		<b>P2 - 650mm x 650mm x 1500mm</b>								
- Concrete Supply			16.00	no						
- Forming			10.14	m3	225.00	\$ 2,281.50	\$ 2,281.50			
- Labour to Pour, Finish, & Strip			16.00	no	350.00	\$ 5,600.00	\$ 5,600.00			
- Rebar Supply and Install			16.00	no	350.00	\$ 5,600.00	\$ 5,600.00			
			16.00	no	450.00	\$ 7,200.00	\$ 7,200.00			
Foundation Layout/Equipment			1.00	ls	2500.00	\$ 2,500.00	\$ 2,500.00			
Concrete Pumping Allowance			6.00	ea	1250.00	\$ 7,500.00	\$ 7,500.00			
Weeping Tile			110.00	m	16.50	\$ 1,815.00	\$ 1,815.00			
Perimeter Insulation/Drainage			66.00	m2	48.44	\$ 3,196.94	\$ 3,196.94			
Dampproofing			264.00	m2	48.44	\$ 12,787.75	\$ 12,787.75			
<b>Foundation Excavation</b>		<b>1500mm deep - assume standard soils - no rock - No cut &amp; Fill Required</b>								
- Excavation			585.38	m3	50.00	\$ 29,268.75	\$ 29,268.75			
- Excavation			41.51	m3	50.00	\$ 2,075.63	\$ 2,075.63			
- Backfill with Granulars & Compaction			291.14	m3	135.00	\$ 39,303.23	\$ 39,303.23			
- Dispose of Excess Soils			626.89	m3	30.00	\$ 18,806.63	\$ 18,806.63			
<b>A2 Structure</b>										
<b>A21 Lowest Floor Construction</b>		1.00	650.00	m2	5.38		\$ 3,500.00	\$ 5.38	\$ 0.50	13%
Sump Pit			Assume required	1.00	no	3500.00	\$ 3,500.00	\$ 3,500.00		
<b>A22 Upper Floor Construction</b>		1.00	650.00	m2	366.34		\$ 238,121.77	\$ 366.34	\$ 34.03	
<b>Slab On Grade - Apparatus Bay</b>		<b>150mm Thick</b>								
- Concrete Supply			295.00	m2						
- Labour to Place Rebar, Pour & Finish			44.25	m3	200.00	\$ 8,850.00	\$ 8,850.00			
- form trench drains			295.00	m2	37.67	\$ 11,113.93	\$ 11,113.93			
microfibre reinforcing			50.00	m	150.00	\$ 7,500.00	\$ 7,500.00			
Supply, place, compact granular			295.00	m2	13.46	\$ 3,969.26	\$ 3,969.26			
			177.00	m3	110.00	\$ 19,470.00	\$ 19,470.00			
<b>Slab On Grade - Admin Area</b>		<b>125mm Thick</b>								
- Concrete Supply			355.00	m2						
- Labour to Place Rebar, Pour & Finish			44.38	m3	200.00	\$ 8,875.00	\$ 8,875.00			
microfibre reinforcing			355.00	m2	37.67	\$ 13,374.39	\$ 13,374.39			
Granular Supply/Install/Compact - Sub-base			355.00	m2	13.46	\$ 4,776.57	\$ 4,776.57			
			106.50	m3	110.00	\$ 11,715.00	\$ 11,715.00			
VB/U/S Insulation			650.00	m2	26.00	\$ 16,900.00	\$ 16,900.00			
<b>Steel Columns - Apparatus Bay</b>		<b>HSS 203x203x6.405 (13)</b>								
Steel Columns - Office area			1.00	t	16481.72	\$ 16,419.20	\$ 16,419.20			
Beams			0.43	t	16481.72	\$ 7,040.30	\$ 7,040.30			
Beams			1.04	t	16481.72	\$ 17,217.52	\$ 17,217.52			
Beams			0.91	t	16481.72	\$ 15,010.14	\$ 15,010.14			
Beams			0.99	t	16481.72	\$ 16,246.27	\$ 16,246.27			
Beams			0.59	t	16481.72	\$ 9,683.01	\$ 9,683.01			
Brace Frames			0.46	t	16481.72	\$ 7,510.96	\$ 7,510.96			
Channel at overhang			0.80	t	16481.72	\$ 13,141.82	\$ 13,141.82			
Deck Edge			0.53	t	16481.72	\$ 8,797.12	\$ 8,797.12			
Base Plates			29.00	no	350.00	\$ 10,150.00	\$ 10,150.00			
Miscellaneous Welding and Fasteners			1.35	t	5090.91	\$ 6,861.28	\$ 6,861.28			
Ties and Anchors			1.00	ls	3500.00	\$ 3,500.00	\$ 3,500.00			
<b>A23 Roof Construction</b>										
<b>Roof</b>		1.00	650.00	m2	577.53		\$ 375,396.08	\$ 577.53	\$ 53.65	
OWSJ			1000 DP	214.50	m	825.00	\$ 176,962.50	\$ 176,962.50		
OWSJ			600DP	234.00	m	375.00	\$ 87,750.00	\$ 87,750.00		
OWSJ			400DP	184.60	m	225.00	\$ 41,535.00	\$ 41,535.00		
Steel Deck			803.00	m2	86.11	\$ 69,148.58	\$ 69,148.58			
<b>A3 Exterior Enclosure</b>										
<b>A32 Walls Above Grade</b>		1.00	650.00	m2	580.19		\$ 377,125.16	\$ 580.19	\$ 53.90	15%
<b>Exterior Wall</b>		<b>Arch blok/pre-finished siding</b>								
- 190x390x90 face block - Permacon Nobel			569.60	m2						
- 22ga pre-finished metal siding - ideal roofing			99.00	m2	243.91	\$ 24,147.54	\$ 24,147.54			
- Horizontal/Vertical Z-Girts (@1220mm)			470.60	m2	250.00	\$ 117,650.00	\$ 117,650.00			
- 127mm semi rigid insulation			470.60	m2	30.00	\$ 14,118.00	\$ 14,118.00			
- 50mm semi rigid insulation			634.28	m2	121.32	\$ 76,953.93	\$ 76,953.93			
			634.28	m2	54.05	\$ 34,282.35	\$ 34,282.35			

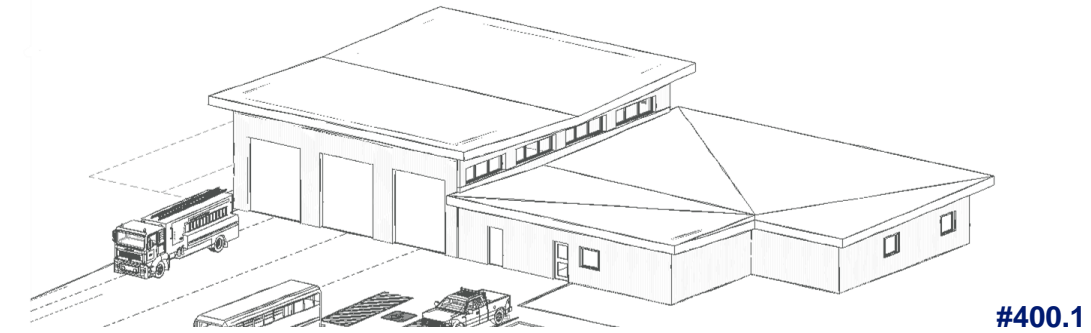
- blueskin membrane			634.28	m2	32.20	\$	20,423.82	\$	20,423.82				
- 16mm ext grade glass reinforced sheathing			634.28	m2	30.00	\$	19,028.40	\$	19,028.40				
- Batt Insulation at Studs			691.88	m2	28.00	\$	19,372.64	\$	19,372.64				
- Vapour Barrier			691.88	m2	9.00	\$	6,226.92	\$	6,226.92				
- Steel Studs		8" structural stud - apparatus bay	435.88	m2	29.60	\$	12,902.60	\$	12,902.60				
- Steel Studs		6" structural stud - Office Area	256.00	m2	21.53	\$	5,511.22	\$	5,511.22				
- Interior Gypsum Board			691.88	m2	24.75	\$	17,124.03	\$	17,124.03				
- metal liner panel		apparatus bay	435.88	m2	21.53	\$	9,383.71	\$	9,383.71				
<b>A33 Windows &amp; Entrances</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>178.54</b>		<b>\$ 116,050.00</b>	<b>\$ 178.54</b>	<b>\$ 16.59</b>		
Aluminum Entrance Doors/Transom and Sidelight			1.00	pcs	6500.00	\$	6,500.00	\$	6,500.00				
Aluminum Door Hardware			1.00	ea	1500.00	\$	1,500.00	\$	1,500.00				
Aluminum Punch Window		Apparatus Bay - Assume 3.57x.921 per Window	11.00	no	560.00	\$	6,160.00	\$	6,160.00				
Aluminum Punch Window		Office Area - Assume 1.52x1.52	6.00	no	4500.00	\$	27,000.00	\$	27,000.00				
Hollow Metal Doors/Frames - Single		Exterior Insulated	2.00	ea	2045.00	\$	4,090.00	\$	4,090.00				
Overhead Door			3.00	ea	22000.00	\$	66,000.00	\$	66,000.00				
Auto Operators		Vestibule (Exterior and Interior)	1.00	ea	4800.00	\$	4,800.00	\$	4,800.00				
<b>A34 Roof Coverings</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>279.87</b>		<b>\$ 181,913.29</b>	<b>\$ 279.87</b>	<b>\$ 26.00</b>		
2 Ply Mod-Bit		Includes R40 Insul, VB membrane, Sheathing, sloped insul	650.00	m2	279.87	\$	181,913.29	\$	181,913.29				
<b>A35 Projections</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>75.54</b>		<b>\$ 49,100.00</b>	<b>\$ 75.54</b>	<b>\$ 7.02</b>		
Flat Roof Parapet/Roof Works - Carpentry/Flashings			147.00	m	300.00	\$	44,100.00	\$	44,100.00				
Miscellaneous Caulking			1.00	ls	5000.00	\$	5,000.00	\$	5,000.00				
<b>B Interiors</b>													
<b>B1 Partitions &amp; Doors</b>									<b>\$ 141,498.43</b>	<b>\$ 217.69</b>	<b>\$ 20.22</b>	<b>3%</b>	
<b>B11 Partitions</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>99.84</b>		<b>\$ 64,898.43</b>	<b>\$ 99.84</b>	<b>\$ 9.28</b>		
Steel Studs			368.00	m2	16.15	\$	5,941.78	\$	5,941.78				
Drywall & Sound Batt			736.00	m2	75.35	\$	55,456.64	\$	55,456.64				
Misc Metal Blockings			1.00	ls	3500.00	\$	3,500.00	\$	3,500.00				
<b>B12 Doors</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>117.85</b>		<b>\$ 76,600.00</b>	<b>\$ 117.85</b>	<b>\$ 10.95</b>		
Aluminum Entrance Doors/Transom and Sidelight			1.00	pcs	6500.00	\$	6,500.00	\$	6,500.00				
Aluminum Door Hardware			1.00	ea	1500.00	\$	1,500.00	\$	1,500.00				
Hollow Metal Doors/Frames - Single, No Lite			7.00	ea	1800.00	\$	12,600.00	\$	12,600.00				
Hollow Metal Doors/Frames - Double, Full Lite			3.00	ea	2200.00	\$	6,600.00	\$	6,600.00				
Hollow Metal Doors/Frames - Single, Full Lite			6.00	ea	2000.00	\$	12,000.00	\$	12,000.00				
Hardware			19.00	pcs	1200.00	\$	22,800.00	\$	22,800.00				
Auto Operators		Vestibule	1.00	pcs	4800.00	\$	4,800.00	\$	4,800.00				
Auto Operators		BF washroom	1.00	pcs	4800.00	\$	4,800.00	\$	4,800.00				
Interior Glazing Units		Allowance	1.00	ls	5000.00	\$	5,000.00	\$	5,000.00				
<b>B2 Finishes</b>									<b>\$ 106,259.17</b>	<b>\$ 163.48</b>	<b>\$ 15.19</b>	<b>2%</b>	
<b>B21 Floor Finishes</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>61.01</b>		<b>\$ 39,655.46</b>	<b>\$ 61.01</b>	<b>\$ 5.67</b>		
Ceramic Tile			108.00	m2	175.00	\$	18,900.00	\$	18,900.00				
Ceramic Tile Base			132.00	m	16.41	\$	2,165.46	\$	2,165.46				
Sealed Concrete			301.00	m2	20.00	\$	6,020.00	\$	6,020.00				
Laminate/VCT			210.00	m2	50.00	\$	10,500.00	\$	10,500.00				
Rubber Floor Base			225.00	m	9.20	\$	2,070.00	\$	2,070.00				
<b>B22 Ceiling Finishes</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>42.40</b>		<b>\$ 27,557.02</b>	<b>\$ 42.40</b>	<b>\$ 3.94</b>		
Standard ACT Ceilings		2x2 fissured	268.00	m2	23.00	\$	6,164.00	\$	6,164.00				
Drywall Ceilings/Bulkheads			282.00	m2	48.44	\$	13,659.64	\$	13,659.64				
Drywall Ceilings/Bulkheads		High Humidity - Decontamination Bay/washrooms	71.00	m2	59.20	\$	4,203.38	\$	4,203.38				
Paint Drywall Ceilings/Bulkheads			353.00	m2	10.00	\$	3,530.00	\$	3,530.00				
<b>B23 Wall Finishes</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>60.07</b>		<b>\$ 39,046.69</b>	<b>\$ 60.07</b>	<b>\$ 5.58</b>		
Paint		Drywall - All interior	1,427.88	m2	9.69	\$	13,832.86	\$	13,832.86				
Ceramic Tile			195.20	m2	129.17	\$	25,213.83	\$	25,213.83				
<b>B3 Fittings &amp; Equipment</b>									<b>\$ 45,759.35</b>	<b>\$ 70.40</b>	<b>\$ 6.54</b>	<b>1%</b>	
<b>B31 Fittings &amp; Fixtures</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>70.40</b>		<b>\$ 45,759.35</b>	<b>\$ 70.40</b>	<b>\$ 6.54</b>		
<b>Metals</b>													
- Roof Ladder			1.00	pcs	2,500.00	\$	2,500.00	\$	2,500.00				
<b>Millwork</b>													
- Decontamination Room		Upper Lower Cabinets/SS Tops	6.00	m	2,100.00	\$	12,600.00	\$	12,600.00				
- Kitchen			3.00	m	1,476.45	\$	4,429.35	\$	4,429.35				
- washroom vanity			2.00	no	1200.00	\$	2,400.00	\$	2,400.00				
- Workshop		Allowance	1.00	ls	2000.00	\$	2,000.00	\$	2,000.00				
- apparatus bay		Allowance	1.00	ls	2000.00	\$	2,000.00	\$	2,000.00				
<b>Washroom Accessories</b>													
- Mirror			4.00	pcs	300.00	\$	1,200.00	\$	1,200.00				
- BF Mirror			1.00	pcs	350.00	\$	350.00	\$	350.00				
- Soap Dispenser			5.00	pcs	50.00	\$	250.00	\$	250.00				
- Toilet Paper Dispenser			3.00	pcs	85.00	\$	255.00	\$	255.00				
- Sanitary Napkin Dispenser			3.00	pcs	250.00	\$	750.00	\$	750.00				
- Sanitary Napkin Disposal			3.00	pcs	100.00	\$	300.00	\$	300.00				
- Waste Receptacle			6.00	pcs	100.00	\$	600.00	\$	600.00				
- Grab Bars, Vertical			1.00	pcs	150.00	\$	150.00	\$	150.00				
- Grab Bars, Horizontal			1.00	pcs	150.00	\$	150.00	\$	150.00				
- Coat hooks			5.00	pcs	50.00	\$	250.00	\$	250.00				
- ss shelf			5.00	pcs	75.00	\$	375.00	\$	375.00				
- curtain rod and shower curtain			2.00	pcs	100.00	\$	200.00	\$	200.00				
- BF Change Table		Rough In Only - Future	0.00	pcs	10,000.00	\$	-	\$	-				
Lockers			20.00	ea	250.00	\$	5,000.00	\$	5,000.00				
Visual Display Boards		Chalk/Marker/Cork	1.00	ls	6,500.00	\$	6,500.00	\$	6,500.00				
Pedimat			1.00	pcs	3,500.00	\$	3,500.00	\$	3,500.00				
Storage Shelving		By Owner	0.00	ls	8000.00	\$	-	\$	-				
<b>C Mechanical/Electrical</b>													
<b>C1 Mechanical</b>									<b>\$ 670,080.95</b>	<b>\$ 1,030.89</b>	<b>\$ 95.77</b>	<b>14%</b>	
<b>C11 Plumbing &amp; Drainage</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>\$ 381.94</b>		<b>\$ 248,257.78</b>	<b>\$ 381.94</b>	<b>\$ 35.48</b>		
Plumbing & Piping		Assumed Qty of Fixtures (includes floor drains)	40.00	fixt	2600.00	\$	104,000.00	\$	104,000.00				
HWT			1.00	ls	8000.00	\$	8,000.00	\$	8,000.00				
Boiler Systems		Piping	1.00	ls	20,000.00	\$	20,000.00	\$	20,000.00				
Oil Interceptor		apparatus bay	1.00	ls	30,000.00	\$	30,000.00	\$	30,000.00				
Sump Pumps			1.00	no	6,500.00	\$	6,500.00	\$	6,500.00				
Grey Water Connections			1.00	ls	6,500.00	\$	6,500.00	\$	6,500.00				
Pipe Insulation		Allowance	1.00	ls	10,000.00	\$	10,000.00	\$	10,000.00				
Propane		Fence and Piping Only - Tank Supplied by Propane Supplier	1.00	ls	11,500.00	\$	11,500.00	\$	11,500.00				
New Trench Drains			50.00	m	246.08	\$	12,303.75	\$	12,303.75				
Refrigeration Piping			650.00	m2	36.09	\$	23,459.15	\$	23,459.15				
Compressed Air System			650.00	m2	24.61	\$	15,994.88	\$	15,994.88				
<b>C12 Fire Protection</b>		Not Sprinklered	<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>\$ 0.77</b>		<b>\$ 500.00</b>	<b>\$ 0.77</b>	<b>\$ 0.07</b>		
Potable Fire Extinguishers			1.00	ls	500.00	\$	500.00	\$	500.00				
<b>C13 HVAC</b>			<b>1.00</b>	<b>650.00</b>	<b>m2</b>		<b>\$ 494.21</b>		<b>\$ 321,234.44</b>	<b>\$ 494.21</b>	<b>\$ 45.91</b>		
HVAC		Distribution	650.00	m2	59.20	\$	38,481.66	\$	38,481.66				
In-Slab Heating and Mainfolds		Glycol System - Apparatus Bay Only	300.00	m2	269.10	\$	80,730.75	\$	80,730.75				
ERV's			1.00	ls	15,000.00	\$	15,000.00	\$	15,000.00				
wall Mounted Condensing Boilers (400mbh)			2.00	ea	16,335.00	\$	32,670.00	\$	32,670.00				
Glycol System			300.00	ls	64.58	\$	19,375.38	\$	19,375.38				
Electric Force Flow Heat		Main Vestibule	1.00	ea	3,500.00	\$	3,500.00	\$	3,500.00				
Air Curtains - No Heat		Garage Doors	3.00	ea	3,500.00	\$	10,500.00	\$	10,500.00				
Exhaust Fan (3000cfm)			1.00	no	5,000.00	\$	5,000.00	\$	5,000.00				
Propane Fired Roof Mounted Make Up Air System			1.00	no	15,000.00	\$	15,000.00	\$	15,000.00				
C02 Monitoring interconnected to Separate Exhaust Fan and Air Louvre		Appartus Bay	1.00	ls	10,000.00	\$	10,000.00	\$	10,000.00				
1500CFM ERV c/w VSF, DX Cooling condensing unit		Office/Admin Space	350.00	m2	80.73	\$	28,255.76	\$	28,255.76				
Exhaust Fans and Louvres			350.00	m2	59.20	\$	20,720.89	\$	20,720.89				

Ceiling Fans	Apparatus Bay		6.00	ea	\$ 2,000.00	\$ 12,000.00	\$ 12,000.00						
7.5-10 ton VRF Air Source Heat Pump System	Office/Admin Space		1.00	no	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00						
<b>C14 Controls</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>\$ 117.06</b>			<b>\$ 76,088.73</b>	<b>\$ 117.06</b>	<b>\$ 10.88</b>	
New BAS System - T-Stats and BACIP Control System			650.00	m2	117.06		\$ 76,088.73	\$ 76,088.73					
<b>Misc Mechanical</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>\$ 36.92</b>			<b>\$ 24,000.00</b>	<b>\$ 36.92</b>	<b>\$ 3.43</b>	
Mechanical Cut & Patch	U/G Civil		1.00	ls	15000.00		\$ 15,000.00	\$ 15,000.00					
Mechanical Firestopping	Allowance		1.00	ls	4000.00		\$ 4,000.00	\$ 4,000.00					
Mechanical Seismic Bracing	Assumed Requirement		1.00	ls	5000.00		\$ 5,000.00	\$ 5,000.00					
<b>C2 Electrical</b>										<b>\$ 301,933.46</b>	<b>\$ 464.51</b>	<b>\$ 43.15</b>	<b>6%</b>
<b>C21 Electrical</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>\$ 407.92</b>			<b>\$ 265,147.45</b>	<b>\$ 407.92</b>	<b>\$ 37.90</b>	
Lighting	New LED		650.00	m2	107.64		\$ 69,966.65	\$ 69,966.65					
Lighting Control	Occupancy Sensors, Photocells and Switches		1.00	ls	10000.00		\$ 10,000.00	\$ 10,000.00					
Surge Protection			1.00	ls	10000.00		\$ 10,000.00	\$ 10,000.00					
New Service and Distriution Distribution	New Equipment and Relocate Existing		650.00	m2	166.84		\$ 108,448.31	\$ 108,448.31					
Mechanical Connections			650.00	m2	37.67		\$ 24,488.33	\$ 24,488.33					
Security	roughins - back bxes and conduit - New Addition		650.00	m2	18.84		\$ 12,244.16	\$ 12,244.16					
Emergency Generator	300kW 600V 3Ph 4W skin tight stand-by generator		1.00	no	30000.00		\$ 30,000.00	\$ 30,000.00					
Fire Alarm	Not Required		0.00	m2	53.82		\$ -	\$ -					
<b>C22 Data</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>\$ 32.75</b>			<b>\$ 21,286.01</b>	<b>\$ 32.75</b>	<b>\$ 3.04</b>	
A/V System	Rough-ins only		350.00	m2	18.84		\$ 6,593.01	\$ 6,593.01					
Data and Communications	U/G conduits - street to comm rom, Data Rack, Cabling		650.00	m2	22.60		\$ 14,693.00	\$ 14,693.00					
<b>Misc Electrical</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>\$ 23.85</b>			<b>\$ 15,500.00</b>	<b>\$ 23.85</b>	<b>\$ 2.22</b>	
Electrical Cut & Patch - Architectural	underground excavation/backfill		1.00	ls	10000.00		\$ 10,000.00	\$ 10,000.00					
Electrical Firestopping	Allowance		1.00	ls	2000.00		\$ 2,000.00	\$ 2,000.00					
Electrical Seismic Bracing	Allowance		1.00	ls	3500.00		\$ 3,500.00	\$ 3,500.00					
<b>D Site &amp; Ancillary Work</b>													
<b>D1 Site Work</b>										<b>\$ 558,500.00</b>	<b>\$ 859.23</b>	<b>\$ 79.82</b>	<b>12%</b>
<b>D11 Site Development</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>800.77</b>			<b>\$ 520,500.00</b>	<b>\$ 800.77</b>	<b>\$ 74.39</b>	
Clear & Grub Site	Assume site is level - no cut & fill required		24,150.00	m2	1.94		\$ 46,791.54	\$ 46,791.54					
New Water Well/Cistern	Assume New Cistern and Pump System including water monitoring etc		1.00	ls	65,000.00		\$ 65,000.00	\$ 65,000.00					
Decommission Existing Wells			1.00	ls	5000.00		\$ 5,000.00	\$ 5,000.00					
Fire Fighting Grey Water Tank	21,000 gal tank, Pump, Pressure Switches, Rainwater Purification System, Controls and Monitors		1.00	ls	125000.00		\$ 125,000.00	\$ 125,000.00					
New Septic Field			1.00	ls	70000.00		\$ 70,000.00	\$ 70,000.00					
Storm Ceptor			1.00	ls	45000.00		\$ 45,000.00	\$ 45,000.00					
Grading			1.00	ls	10,000.00		\$ 10,000.00	\$ 10,000.00					
Paving			1,260.00	m2	75.00		\$ 94,500.00	\$ 94,500.00					
Concrete Aprons			80.00	m2	175.00		\$ 14,000.00	\$ 14,000.00					
Line Painting	Allowance		1.00	ls	1,800.00		\$ 1,800.00	\$ 1,800.00					
Sidewalks			170.00	m2	95.00		\$ 16,150.00	\$ 16,150.00					
Curbs			130.00	m	85.00		\$ 11,050.00	\$ 11,050.00					
Sod			1,560.00	m2	10.00		\$ 15,600.00	\$ 15,600.00					
Spray hydroseed	Scope unknown		1.00	ls	10,000.00		\$ 10,000.00	\$ 10,000.00					
Planting/Landscaping			1.00	ls	20,000.00		\$ 20,000.00	\$ 20,000.00					
Entrance Sign	By Owner		0.00	no	10,000		\$ -	\$ -					
C02 Tank Pads			20.00	m2	150.00		\$ 3,000.00	\$ 3,000.00					
C02 Tank Enclosure			15.00	m	60.00		\$ 900.00	\$ 900.00					
Bollards			10.00	ea	750		\$ 7,500.00	\$ 7,500.00					
Emergency Generator pad			20.00	m2	150.00		\$ 3,000.00	\$ 3,000.00					
Propane Tank Pad			20.00	m2	150.00		\$ 3,000.00	\$ 3,000.00					
<b>D13 Electrical Site Services</b>			<b>1.00</b>		<b>650.00</b>	<b>m2</b>	<b>58.46</b>			<b>\$ 38,000.00</b>	<b>\$ 58.46</b>	<b>\$ 5.43</b>	
Site Lighting	Assume Not Required		0.00	ea	3,000		\$ -	\$ -					
Electrical Service - Offer to Connect	Not in GC scope - Owners Cost to be carried in Soft Cost by Owner		0.00	ls	100,000		\$ -	\$ -					
New Hydro transformer Allowance	Not in GC scope - Owners Cost to be carried in Soft Cost by Owner		0.00	ls	75,000		\$ -	\$ -					
U/G Service Secondary	Allowance		1.00	ls	30,000		\$ 30,000.00	\$ 30,000.00					
Data Service			1.00	ls	8,000		\$ 8,000.00	\$ 8,000.00					
<b>D2 Ancillary Work</b>													
<b>D21 Demolition/Hazardous Materials</b>	Assume no Hazardous Materials/Demolition		<b>0.00</b>		<b>0.00</b>	<b>m2</b>	<b>0.00</b>			<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>
<b>New Building</b>													
<b>NET CONSTRUCTION COST</b>										<b>\$ 3,485,300.88</b>	<b>\$ 5,362.00</b>	<b>\$ 498.14</b>	<b>72%</b>
<b>Z General Requirements &amp; Allowances</b>										<b>\$ 561,133.44</b>	<b>\$ 863.28</b>	<b>\$ 80.20</b>	<b>12%</b>
<b>Z1 General Requirements &amp; Fee</b>													
<b>Z11 General Conditions/Requirements</b>					<b>10.0%</b>		<b>\$ 3,485,300.88</b>	<b>\$ 348,530.09</b>		<b>\$ 348,530.09</b>	<b>\$ 536.20</b>	<b>\$ 49.81</b>	
<b>Z12 Lump Sum Fee</b>					<b>5.0%</b>		<b>\$ 3,485,300.88</b>	<b>\$ 174,265.04</b>		<b>\$ 174,265.04</b>	<b>\$ 268.10</b>	<b>\$ 24.91</b>	
<b>Z13 Insurance and Bonding</b>	Bonding Included				<b>1.10%</b>		<b>\$ 3,485,300.88</b>	<b>\$ 38,338.31</b>		<b>\$ 38,338.31</b>	<b>\$ 58.98</b>	<b>\$ 5.48</b>	
<b>TOTAL CONSTRUCTION ESTIMATE</b>										<b>\$ 4,046,434.32</b>	<b>\$ 6,225.28</b>	<b>\$ 578.34</b>	<b>83%</b>
<b>Z2 Contingencies</b>													
<b>Z23 Construction Contingency/Market Escalation</b>					<b>10.0%</b>					<b>\$ 404,643.43</b>	<b>\$ 622.53</b>	<b>\$ 57.83</b>	
<b>Z23 Design Contingency</b>					<b>10.0%</b>					<b>\$ 404,643.43</b>	<b>\$ 622.53</b>	<b>\$ 57.83</b>	
<b>TOTAL CONSTRUCTION ESTIMATE - INCLUDING CONTINGENCIES</b>										<b>\$ 4,855,721.19</b>	<b>\$ 7,470.34</b>	<b>\$ 694.01</b>	<b>100%</b>
<b>Z3 Design &amp; Engineering</b>	NIC												
<b>Z31 Design &amp; Engineering</b>	NIC		<b>0.00</b>	<b>ls</b>	<b>\$ -</b>					<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	
<b>Z32 Municipal and Regional Charges</b>	NIC		<b>0.00</b>	<b>ls</b>	<b>\$ -</b>					<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	
Building Permit	NIC		<b>0.00</b>	<b>ls</b>	<b>\$ -</b>					<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	
Development Charges	NIC		<b>0.00</b>	<b>sm</b>	<b>\$ -</b>					<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	
SPA	NIC		<b>0.00</b>	<b>ls</b>	<b>\$ -</b>					<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	
Other Fees/Charges	NIC		<b>0.00</b>	<b>ls</b>	<b>\$ -</b>					<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	
<b>HST</b>	NIC												
<b>TOTAL</b>	<b>TOTAL CLASS D - CONSTRUCTION BUDGET +/- 30%</b>									<b>\$ 4,855,721.19</b>	<b>\$ 7,470.34</b>	<b>\$ 694.01</b>	<b>100%</b>
					<b>30%</b>					<b>\$ 6,312,437.54</b>			
					<b>-30%</b>					<b>\$ 3,399,004.83</b>			

Option Prices													
<b>Solar Array System</b>			<b>650.00</b>	<b>m2</b>	<b>520.00</b>		<b>\$ 338,000.00</b>	<b>\$ 338,000.00</b>		<b>\$ 338,000.00</b>	<b>\$ 520.00</b>	<b>\$ 48.31</b>	<b>7%</b>
<b>TOTAL CONSTRUCTION ESTIMATE - INCLUDING CONTINGENCIES</b>										<b>\$ 338,000.00</b>	<b>\$ 520.00</b>	<b>\$ 48.31</b>	<b>7%</b>



#100.0



#400.1

## Needs Assessment and Options Analysis:

Station 100: St. Isidore, Ontario

Station 400: St-Albert, Ontario

Préparé pour la municipalité de la Nation:



Mme. Josée Brizard, Chief Administrative Officer  
M. Richard Groulx, Fire Chief

Presented August 29<sup>th</sup>, 2022 by:

Dino Di Sano, Architect

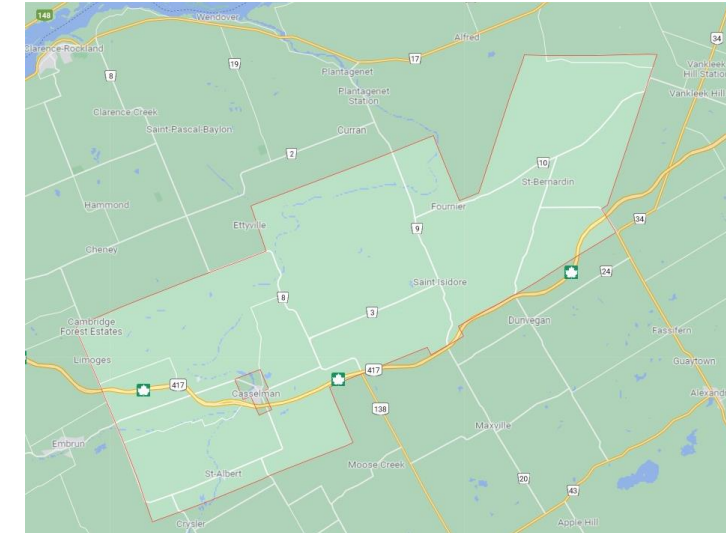


IDEA

INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE

# Context and Scope of Analysis:

La Nation is a constellation of 17 villages, almost 45km long, where 13,000 people live on 658km<sup>2</sup>. 70% of its territory is agricultural lands. There are 572 businesses, quickly accessible, through 5 exits, along the provincial divided highway 417. The municipality is crisscrossed by a matrix of rural concessions, and County roads, skipping over various creeks and rivers forming part of the South Nation River watershed, flowing into the Ottawa River.



Reference:  
**NATION MASTER FIRE PLAN**  
(NMFP)

Recommendations, guidelines, and condition reports.

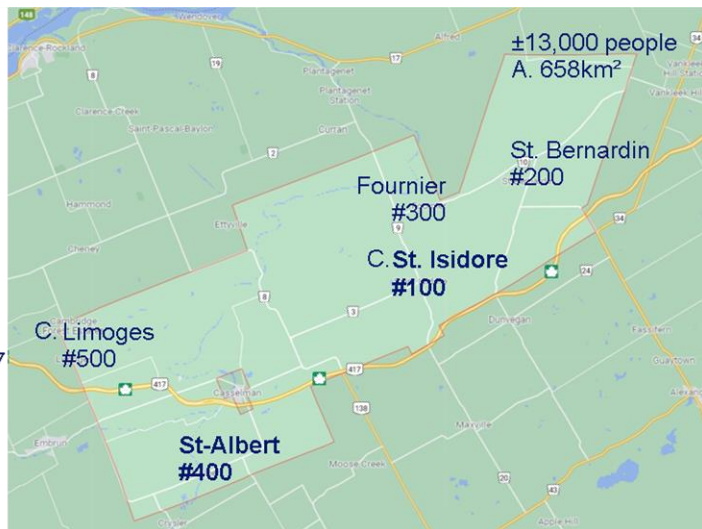
# Context and Scope of Analysis:

## Unique conditions for NFD service:

- A. Relatively large service area, response distances, relative to population / tax base.
- B. Highway 417 additional service.
- C. Volunteer fire fighter succession planning vs concentrated urban population growth.

The expected available volunteer core is expected to shrink from rural fire stations.

NMFP recommends 'Hub' Stations be located at #100 (non-conforming) and #500 (existing).



**Station #100** = Hub Station in St. Isidore

**Station #400** = Satellite Station in St-Albert

## Challenge:

Maintain firefighting services by retaining and attracting volunteer firefighters to ensure quality services.

# Context and Scope of Analysis:

## Fire Stations as Workplaces.

Evolved from simple storage garages, they are now active workplaces supporting our firefighters in cultivating skills, mobilizing to response sites safely and ensuring long-term healthy homebase. **Safety is the priority value in a fire station's DNA.**

### 1. Safety in Responding:

Fire stations must function when called upon.

### 2. Safety in Movement:

Fire stations support all fire fighters' activities (surfaces, cleanliness, clearances).

### 3. Safety in Execution:

Fire stations must support long-term health of fire fighters.

With growing evidence of a link between cancer in firefighters to toxins that collect on firefighters' bunker gear after fighting fires, contemporary fire station design often incorporates decontamination rooms and bunker gear storage rooms where cleaned bunker gear can off-gas and be safely stored away from fuel-venting vehicles in the apparatus bay.

### Value Statement:

We value our volunteer firefighters' efforts and meet their gift by providing them a safe environment.

IDEA

INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE

# Current Conditions:

## Station #100:

Built in 1986, the administrative wing was renovated in 2018. This station does not meet requirements of a Hub Station. The industrial workplace of the building is in poor condition, constricted by sharing 33% of garage with public works department.

The NMFP states the apparatus bays will not accommodate the designated apparatus and ancillary vehicles including the rescue boat and light rescue utility truck. The **location is poor** as it is proximate to the arena and an intersection that can be congested. **Recommend immediate replacement and relocation.**

## Station #400:

Built in 1976, the NMFP states that this building is **no longer functional as a Fire Station** due to its small apparatus bays, lack of parking, and construction. It recommends immediate replacement and relocation .

## Salient Point:

East end of La Nation needs new hub station located in St. Isidore.

Renovations are stop gap solutions and cannot resolve all long-term requirements in current location.

## Salient Point:

South-west area needs new station located in St-Albert.

# Functional Program:

Based on past project experience, and technical understanding, archetypal outline (program) was created for both fire stations. Both programs were reviewed, in detail, with La Nation and NFD leadership. Given the current context, the proposed designs for the new fire stations, and their cost estimates, reflect an austere version of what would be considered ideal.

## Station #100.1:

Functional Program 1,470m<sup>2</sup>  
Design Area 1,100m<sup>2</sup> (75%)

## Station #400.1:

Functional Program 1,105m<sup>2</sup>  
Design Area 650m<sup>2</sup> (60%)  
Includes 3 apparatus bays.

# Proposed Design Solutions:

## **Station #100.0 Renovation of Existing:**

As a stop gap, immediate intervention, renovate the garage and provide an addition to provide safe handling and storage of firefighters' personal protective equipment (PPE).

**Immediate stop gap**

## **Station #100.1 Future New Hub Station:**

Plan for a new facility for long term service of the east service area. This report recommends hub station functions and extrapolates related costs based on details for station 400.1.

**Future solution**

*Nation to resolve sites  
for new stations.*

## **Station #400.1 New Satellite Station:**

Build a new facility to serve the village of St-Albert and surrounding service areas.

**Immediate solution**

# Proposed Design Solutions:

## Station #100.0 Renovation of Existing:

This option provides the missing functions by locating the addition on west of building.

### Positive Impact

- Provides decontamination and PPE storage rooms
- Provides safe floor surface.
- Provides indoor equipment parking.
- New electrical equipment:
  - Fed underground.
- AC / Gas / Gen. functions ± remain as is.
- Many connections to apparatus bay.
- SCBA workshop connection trucks / exterior.
- Larger overhead doors #2 and #3.

### Less-desirable Impact:

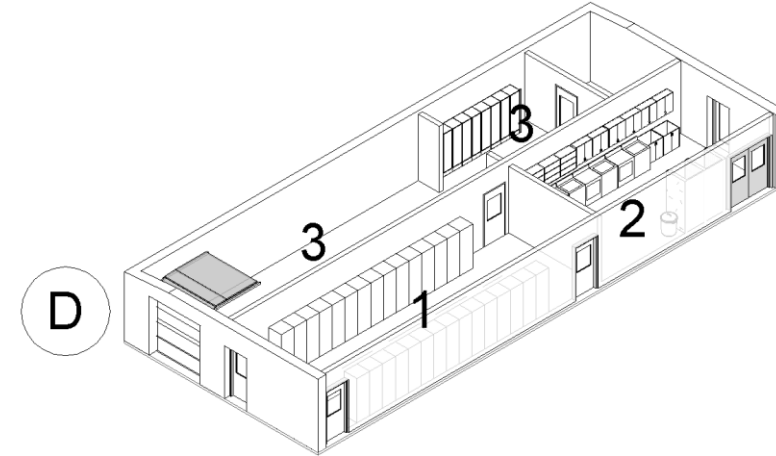
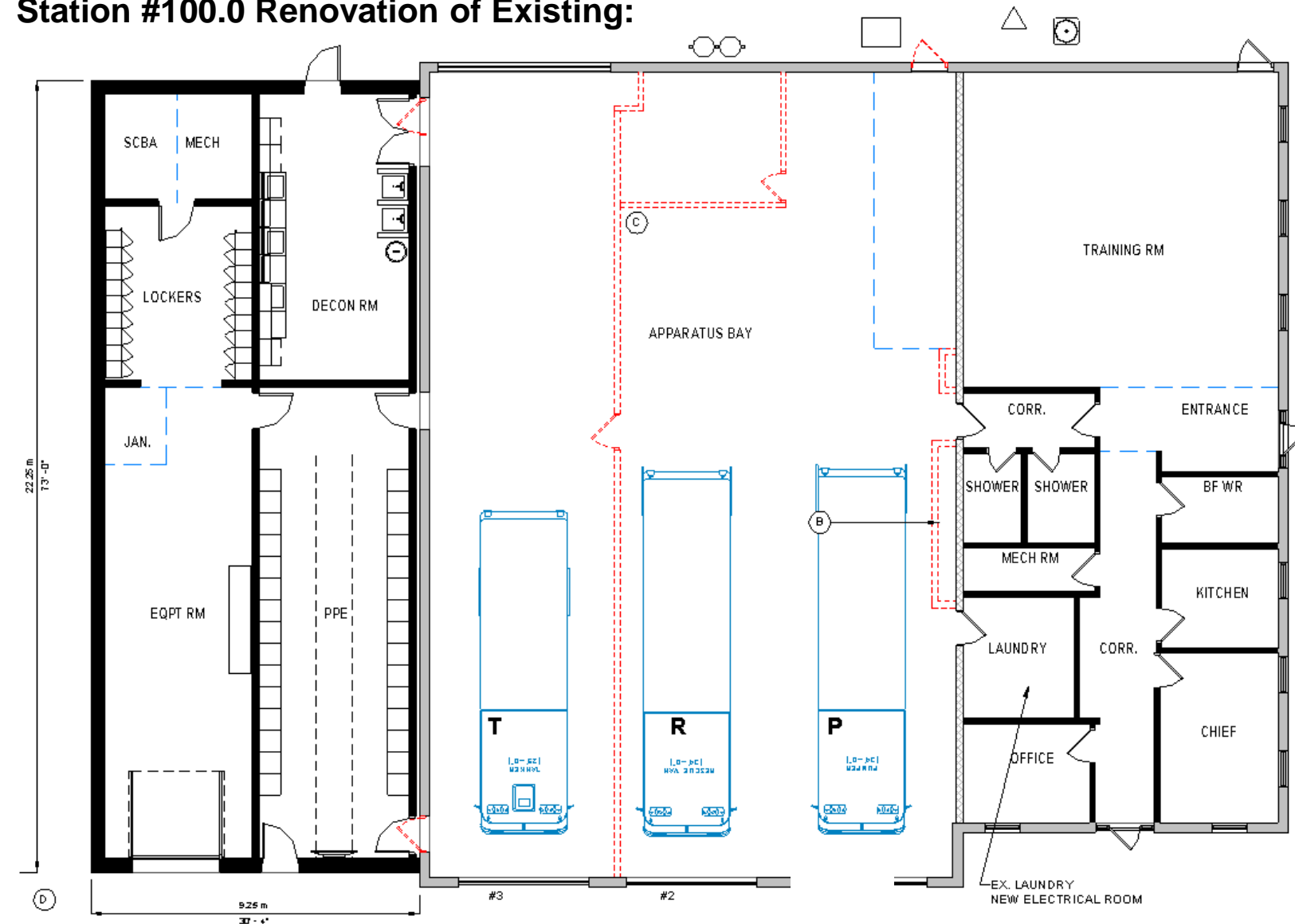
- Minor interruption of communication service.
- Functions separated by apparatus bays.
- Does NOT resolve all basic functions of a Hub Station for this area.

IDEA

INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE

# Proposed Design Solutions:

## Station #100.0 Renovation of Existing:



### Stop-gap interventions:

- A. Minor renovations.
- B. Remove all electrical equipment.
- C. Remove interior partitions.
- D. Minor addition for:
  1. PPE storage room
  2. Decontamination room
  3. Lockers, SCBA, Equipment.

# Proposed Design Solutions:

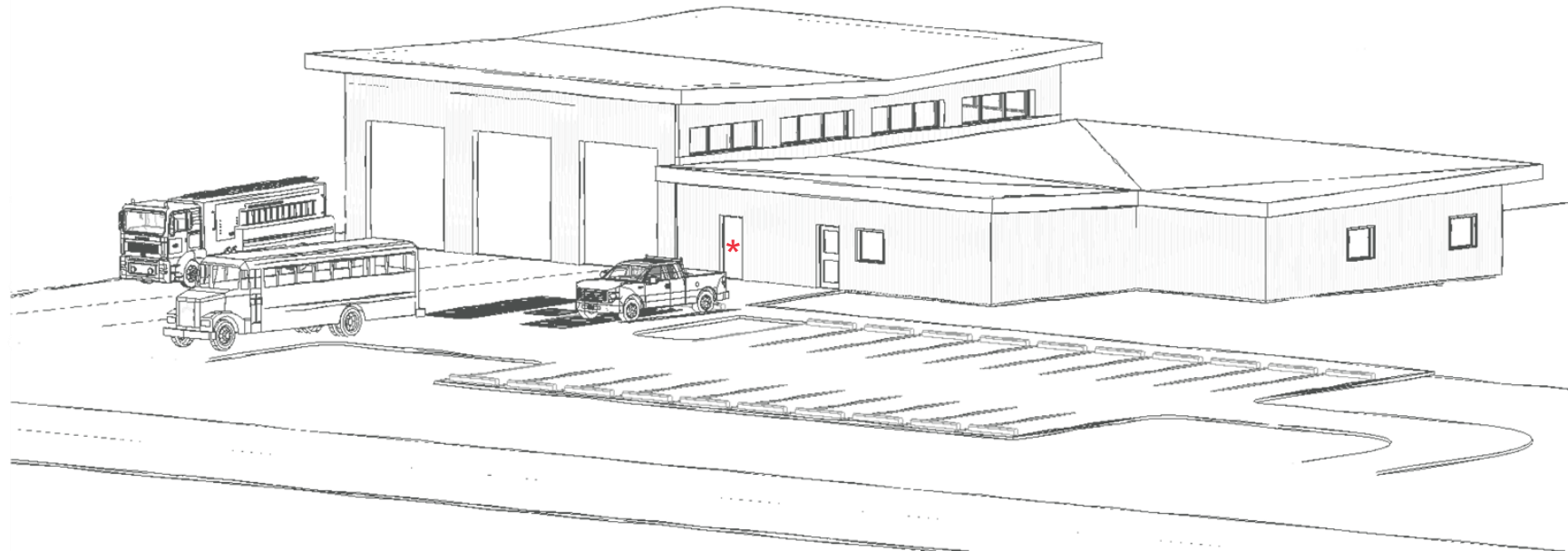
## Station #400.1 New Satellite Station:

The proposed Satellite Station has been reviewed with NFD and presents a more austere version of typical contemporary satellite stations. Features include energy efficient building envelope with higher-thermal-resistance natural daylighting in Apparatus Bay. The PPE Storage room has direct access from the volunteer parking area. The Decontamination, Equipment, Locker and Shower Rooms are sequentially laid out to best support healthy after-event workflows.

Butterfly roofs flow rainwater to underground cistern. This geometry also removes the need for perimeter gutters, snow guards and their related risks and maintenance efforts.

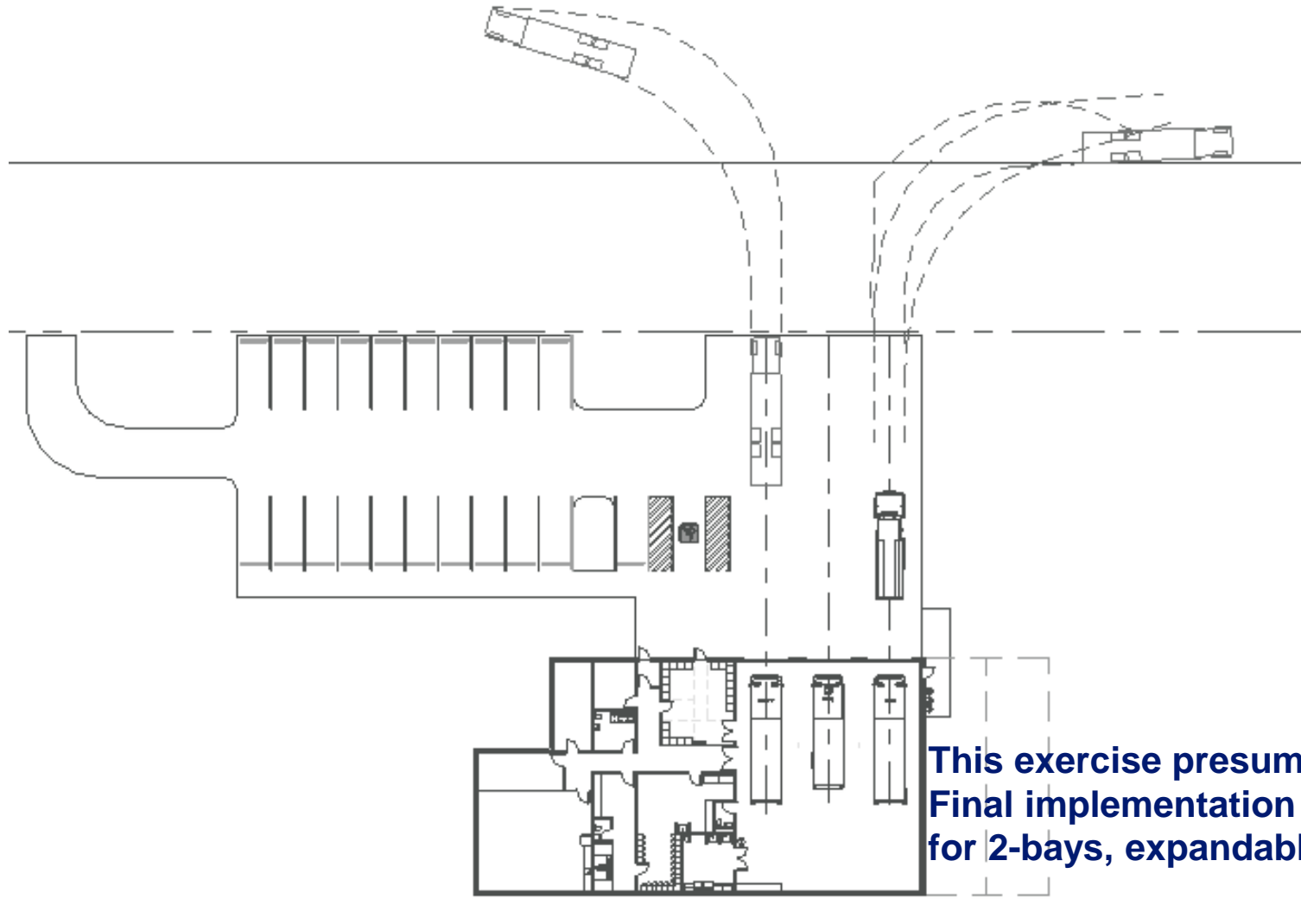
### Features:

- Butterfly roofs capture rainwater.
- Dedicated parking.
- PPE access\* for quick responses.



# Proposed Design Solutions:

## Station #400.1 New Satellite Station:

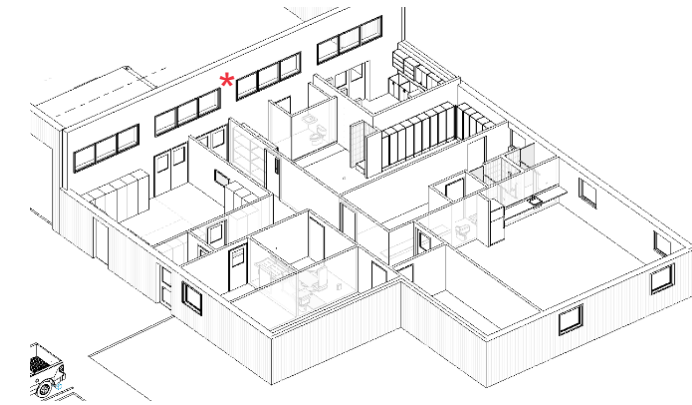
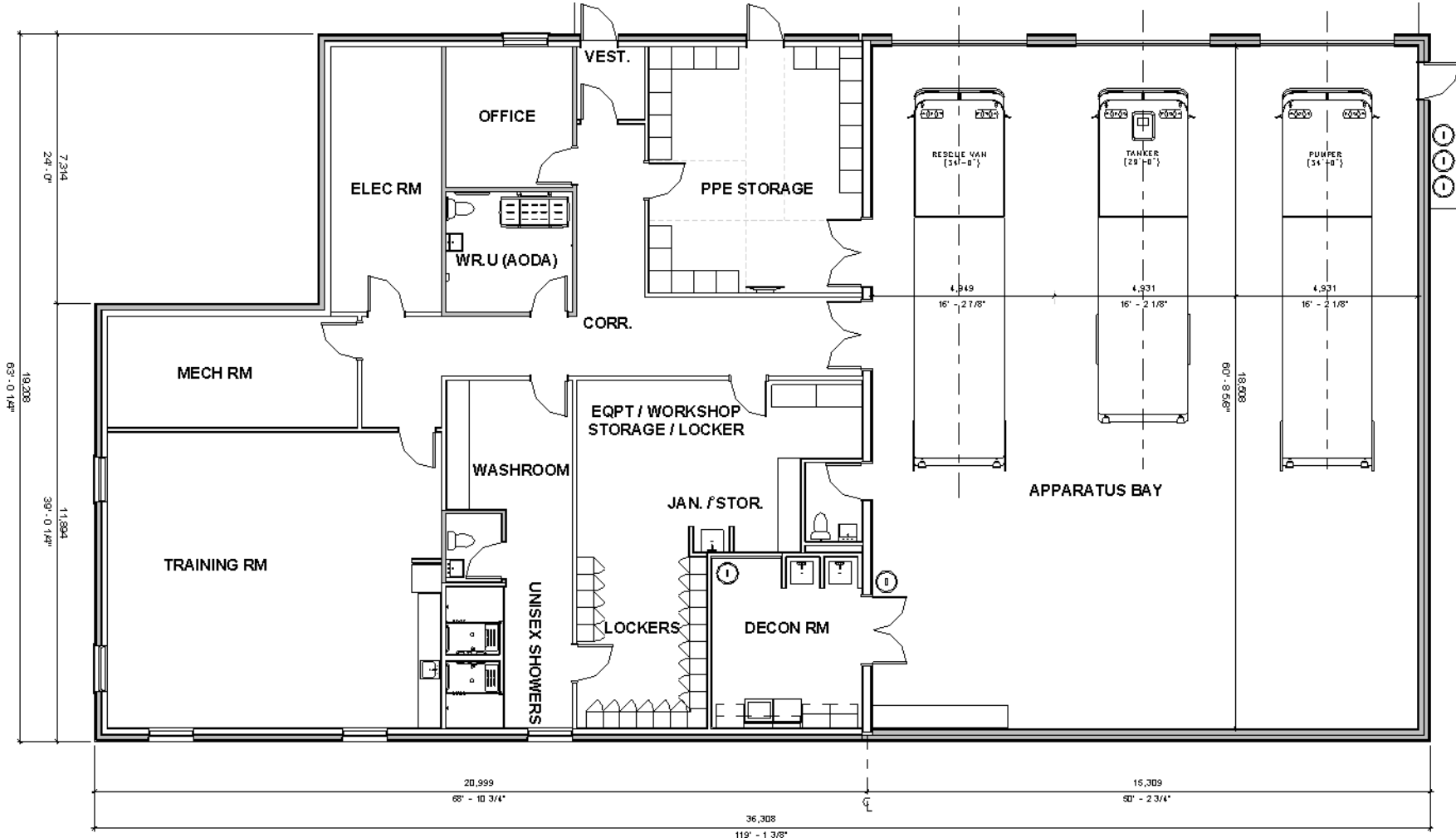


### Greenfield site:

- Most-likely agricultural setting.
- No municipal services.
  - Needs well, septic system.
- Reserved parking for firefighters.
- Allowance for future expansion.
- Potential for solar panels and / or geothermal systems.
- Safe, clear, vehicle sightlines.

# Proposed Design Solutions:

## Station #400.1 New Satellite Station:



### Features:

- Decontamination room / showers.
- PPE storage room.
- Training room
- Apparatus bay:
  - Daylighting \*
  - Radiant heated floor.

IDEA

INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE

# Cost Context:

As everyone has realized over the past few years, the economic context has been in flux not experienced in generations. Generally, in the construction sector:

Material costs have risen 40-50%.

Labour costs have risen 15%

Relative to pre-March 2020 references. This represents ±30% higher construction costs.

Given the Nation Master Fire Plan recommendations, waiting for more favourable economic conditions is not an option. There is no evidence that costs would return to pre-pandemic reference levels.

In preliminary planning stages, it is very important to factor in contingencies to mitigate and manage project risks. Since no parcels of land are dedicated for fire stations, these cost estimates include for “remote services” (well, cistern and septic systems).

## Estimates include:

General Conditions\*

Contractor Fees\*

Insurance / Bonding

*Unprecedented market conditions  
in bids varying greatly due to lack  
of bidders / trades, escalating  
material costs, shortage of  
materials and equipment.*

IDEA

INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE

# Cost Estimates:

## Station #100.0 Renovation of Existing:

Net Building	\$1,126,435
Contracting	\$237,675
Contingencies	\$272,825
Exclusions	_____?
	<b>\$1,636,935</b>

±30% (\$1.15M - \$2.13M)



## Station #100.1 New Hub Station:

Net Building	\$5,902,125
Contracting	\$950,245
Contingencies	\$1,370,475
Exclusions	_____?
	<b>\$8,222,845</b>

(Includes remote services' costs)

±30% (\$5.76M - \$10.69M)

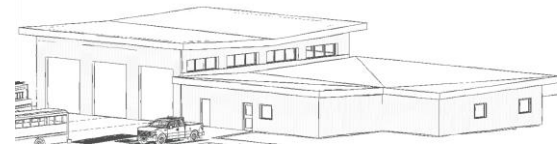
## Station #400.1 New Satellite Station:

Net Building	\$3,485,300
Contracting	\$561,135
Contingencies	\$808,685
Exclusions	_____?
	<b>\$4,855,120</b>
Solar array	+\$340,000

(Includes \$395K in remote services' costs)

±30% (\$3.4M - \$6.32M)

(Option may offset operational costs, TBD)



### Exclusions:

??	Design Fees*
??	Land Acquisition Fees*
??	Various Permits / Taxes
??	Hazardous Materials
??	Utility Services*
??	Soil Capacity Remediation*
??	Furnishings Fixtures Eqpt.

\* to be determined

# Recommendations:

## **Station #100.0 Renovation of Existing: Can proceed as soon as possible.**



Given the context IDEA has received, regarding La Nation financial outlook, it seems most prudent to proceed with firefighter health and safety improvements noted as options 100.0 and 400.1.

Exclusions \_\_\_\_\_ ?  
**\$1,636,935**

±30% (\$1.15M - \$2.13M)

## **Station #100.1 New Hub Station:**

Net Building \$5,902,125  
Contracting \$950,245  
Contingencies \$1,370,475  
Exclusions \_\_\_\_\_ ?  
**\$8,222,845**

(Includes remote services' costs)

±30% (\$5.76M - \$10.69M)

## **Station #400.1 New Satellite Station:**

**Can proceed as soon as La Nation resolves a land parcel.**



Exclusions \_\_\_\_\_ ?  
**\$4,855,120**  
Solar array \$340,000

±30% (\$3.4M - \$6.32M)

(Option may offset operational costs, **TBD**)



July 22, 2022

Premier Doug Ford  
Legislative Building  
Queen's Park  
Toronto ON M7A 1A1

Dear Premier Ford:

**Re: Physician Shortages in Ontario**

Ontario has one of the most revered health care systems in the world. The residents of Ontario have been fortunate to have access to medical professionals from all branches of the medical field.

Our Province continually monitors the needs of its citizens and strives to make progressive changes to continue to meet the needs of Ontarians. Evidence of this progressive action on the part of the government was the identification of the shortage of Personal Support Workers. Recognizing the vital role that they play in health care, the Province supported Ontario colleges in providing free tuition for students who agreed to study for and become Personal Support Workers. We applaud the Province for this progressive action.

Like many municipalities, we have noticed that as each year goes by, we begin to see fewer physicians. The shortage is becoming alarming as we hear daily that many people are without a physician and do not have access to a primary medical care giver. The shortage of physicians is reaching our hospital emergency rooms as many in our rural communities are forced to close periodically as there are no physicians to staff them.

Another issue which is exacerbating the physician shortage is the limited spaces available in Canadian Universities for medical school and in residency programs. Increases to the number of students who are accepted could go a long way to ensure that more students graduate and become contributing physicians in our communities.

A third issue that causes concern is the seemingly onerous process for foreign and international physicians to become accredited to practice in Ontario. We have had interactions with individuals who have come to our community and are accomplished physicians but are not able to practice in Ontario as they at times cannot afford the cost for accreditation and in other instances, the process is quite lengthy meaning that they must take other positions, outside of their field, thus wasting their talent.



TOWN OF  
**SOUTH BRUCE PENINSULA**

The Town of South Bruce Peninsula has seriously contemplated all of these issues and has taken steps to address the shortage experienced in our community. Council has monetarily supported a local Physician Recruitment Committee and has held money in reserves to assist with the hiring of a recruiter and to be used to assist new physicians requiring funds to set up an office and find housing.

We are reaching out to you to ask for your assistance in addressing the physician shortage. We would like to see subsidy opportunities for students who commit to becoming practicing physicians and would expect that the Province would put protective measures in place to ensure that students receiving funding commit to practicing in Ontario. We would support an expedited accreditation process for foreign physicians. We would encourage the increase of additional student spaces in medical school and residency programs.

The Town of South Bruce Peninsula is not alone in its convictions to address the physician shortages. We welcome you to contact us directly to have conversations about how all levels of government can work together to end this shortage.

Yours very truly,

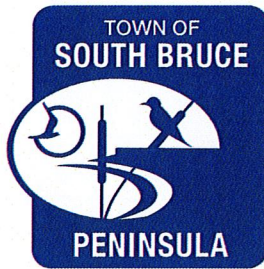
Mayor Janice Jackson

[janice.jackson@southbrucepeninsula.com](mailto:janice.jackson@southbrucepeninsula.com)

519-534-1400 ext 200

Enclosure (1)

cc: Hon. Sylvia Jones, Minister of Health and Long-Term Care [sylvia.jones@pc.ola.org](mailto:sylvia.jones@pc.ola.org)  
Rick Byers, MPP, Bruce Grey Owen Sound [rick.byers@pc.ola.org](mailto:rick.byers@pc.ola.org)  
Hon. Stephen Lecce, Minister of Education [stephen.lecce@pc.ola.org](mailto:stephen.lecce@pc.ola.org)  
Prime Minister Justin Trudeau [justin.trudeau@parl.gc.ca](mailto:justin.trudeau@parl.gc.ca)  
Hon. Jean-Yves Duclos, Minister of Health [jean-yves.cuclos@parl.gc.ca](mailto:jean-yves.cuclos@parl.gc.ca)  
Alex Ruff, MP, Bruce Grey Owen Sound [alex.ruff@parl.gc.ca](mailto:alex.ruff@parl.gc.ca)  
All Municipalities in Ontario  
College of Physicians and Surgeons of Ontario [feedback@cpsso.on.ca](mailto:feedback@cpsso.on.ca)



## Excerpt from Council Meeting Minutes – July 19, 2022

### 23. Notice of Motion – Mayor Jackson – Physician Subsidy

Mayor Jackson explained the meeting with the Physician Recruitment Committee and how a retired recruiter is willing to help the Committee but that we need to support medical students. The motion would be forwarded to the Minister, the Premier, the Prime Minister and all Ontario municipalities.

Discussion included the closing of hospital ERs, people without family doctors, the difficulty for professionals to obtain accreditation to work in our Province, having levels of accreditation to relieve pressure, community health models including nurse practitioners, ideas that the recruiter has and how she recruited 77 doctors.

#### R-266-2022

It was **Moved** by J. Jackson, **Seconded** by K. Durst and **Carried**

**Whereas** the Province of Ontario and particularly rural areas such as South Bruce Peninsula, are experiencing a severe shortage of physicians, leaving many people without access to medical care;

**And whereas** when the Province of Ontario realized the shortage of Personal Support Workers, they took progressive action to support Ontario colleges to provide free tuition for students who agreed to enter into this field of study and work;

**And whereas** it is recognized that the education costs for a physician can be a deterrent for students contemplating entering the medical field;

**And whereas** the Town of South Bruce Peninsula has taken steps to support the recruitment of physicians by earmarking money to hire a recruiter, by monetarily supporting a recruitment Committee and by providing money for new physicians to use to set up office space and for housing;

**Now therefore** be it resolved that the Town of South Bruce Peninsula respectfully requests that the Province of Ontario and Government of Canada recognizes that the shortage in health care workers is not unique to Personal Support Workers but is also relevant to physicians including specialists and general practitioners;

**And that** in order to support Ontario municipalities and their residents, the Provincial and Federal Governments take steps to provide support and subsidy to students entering

medical school with the intention of becoming practicing physicians in the Province of Ontario and particularly in underserved rural and northern municipalities;

**And that** the Provincial and Federal Governments work with Canadian universities to increase the number of students accepted into medical school and residency programs;

**And that** the Province expedites the accreditation process for foreign medical practitioners ;

**And further that** the Town of South Bruce Peninsula supports whatever protective measures the Provincial and Federal Governments place on the subsidy given to ensure that the students receiving the funding become practicing physicians in the Province of Ontario.

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**CORPORATION OF THE NATION MUNICIPALITY**

**BY-LAW NO. 98-2022**

**BEING** a By-Law to confirm the proceedings of Council on the 27<sup>th</sup> day of June 2022 and to repeal By-law number 95-2022, regarding the proceedings of council on the 27<sup>th</sup> of June 2022.

**WHEREAS** two by-laws were adopted under the number “95-2022,” the first being for a road widening for Part of Lot 2, Concession 3 in Caledonia and the second being to confirm the council proceedings on the 27<sup>th</sup> day of June 2022;

**WHEREAS**, the Municipal Act, 2001, as amended, Section 238(2) authorizes Council to pass by-laws to govern the proceedings of the Council;

**AND WHEREAS**, the Council of the Corporation deems it expedient to confirm the proceedings of the Council at its meeting of June 27<sup>th</sup>, 2022.

**THEREFORE**, the Council of the Corporation of The Nation Municipality enacts as follows:

- 1) That By-law number 95-2022, being a by-law to confirm the proceedings of Council on the 27<sup>th</sup> day of June 2022, be repealed;
- 2) That the actions of the Council at its meeting held on the 27<sup>th</sup> day of June, 2022, in respect of each recommendation contained in the reports of the committees, embodied therein, each motion and resolution passed and other action taken by the Council at its meeting are hereby confirmed and adopted.
- 3) That the Mayor and the proper officials of the Corporation are hereby authorized and directed to do all things necessary to give effect of the said actions, the Mayor and the Clerk or the Deputy-Clerk are authorized to execute all documents necessary in that behalf, and the Clerk or Deputy-Clerk are authorized and directed to affix the seal of the Corporation to such documents.

**READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS 27<sup>th</sup> DAY OF JUNE 2022.**

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**François St. Amour, Mayor**

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**Josée Brizard, CAO-Clerk**

**SEAL**

Type: \_\_\_\_\_

Date: \_\_\_\_\_

Résolution No.: \_\_\_\_\_

Proposée par/Moved by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Brière

Appuyée par/Seconded by: Marie-Noëlle Lanthier  Alain Mainville  Danik Forgues  Francis Brière

**ADOPTION DU RÈGLEMENT 103-2022**

Qu'il soit résolu que le règlement 103-2022 étant un règlement modifiant le règlement de zonage 2-2006 de la municipalité de La Nation pour une propriété au 1747 route 500 ouest, soit lu et adopté en 1<sup>ère</sup>, 2<sup>ème</sup> et 3<sup>ème</sup> lecture.

**ADOPTION OF BY-LAW 103-2022**

Be it resolved that By-law 103-2022 being a by-law to amend Zoning By-law 2-2006 of The Nation Municipality for a property at 1747 Route 500 West, be read and adopted in 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> reading.

Recorded Vote/Vote Enregistré	Yea	Nay
Francois St. Amour	<input type="checkbox"/>	<input type="checkbox"/>
Marie-Noëlle Lanthier	<input type="checkbox"/>	<input type="checkbox"/>
Alain Mainville	<input type="checkbox"/>	<input type="checkbox"/>
Danik Forgues	<input type="checkbox"/>	<input type="checkbox"/>
Francis Briere	<input type="checkbox"/>	<input type="checkbox"/>

Cette resolution est:	
This resolution is:	
Adoptée/Carried	<input type="checkbox"/>
Rejetée/Defeated:	<input type="checkbox"/>
Modifiée/Amended:	<input type="checkbox"/>

Francis Briere	<input type="checkbox"/>	<input type="checkbox"/>
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**DÉCLARATION D'INTÉRÊT / DISCLOSURE OF INTEREST**

Nom / Name: \_\_\_\_\_,  
 a (ont) déclaré ses (leur) intérêts,  laissé son (leur) siège(s) et  quitté la salle du Conseil.  
 Disclosed his (her, their) interest,  vacated his (her, their) seat(s) and  left Council chambers.

\_\_\_\_\_  
 Greffière ou Greffière adjointe/  
 Clerk or Deputy-Clerk

# ZONING BY-LAW NO. 103-2022

Amending Comprehensive Zoning By-Law 2-2006

## **Corporation of The Nation Municipality**

1747 Route 500 West

prepared by

The Nation Municipality  
958, Route 500 west  
Casselman ON. K0A 1M0

CORPORATION OF THE NATION MUNICIPALITY

BY-LAW NO. 103-2022

**BEING A BY-LAW TO AMEND THE COMPREHENSIVE ZONING BY-LAW 2-2006, AS AMENDED;**

**WHEREAS** By-Law 2-2006, the Comprehensive Zoning By-Law, regulates the use and erection of buildings and structures in The Nation Municipality;

**WHEREAS** an application has been received to change the zoning of a certain parcel of land in The Nation Municipality;

**AND WHEREAS** the Council of the Corporation of The Nation Municipality considers it appropriate to amend the Zoning By-Law 2-2006, as described;

**NOW THEREFORE,** the Council of the Corporation of The Nation Municipality enacts as follows:

**Section 1:** The parcel of property located on part of Lot 24, Concession 6 in the former Township of Cambridge, now in The Nation Municipality, County of Russell, shown on Schedule "A", attached to and forming part of this By-Law, shall be the parcel of property affected by this By-Law.

**Section 2:** Schedule "A" of Zoning By-Law 2-2006 is hereby amended by changing from "Agricultural (A)" to "Agricultural – Exception (A-X78)" and the symbol of the parcel of land indicated on the attached Schedule "A" hereto made fully part of this by-law.

**Section 3:** Subsection 5.16.4 of Zoning By-Law 2-2006 entitled AExceptions@, is hereby amended by adding the following new paragraph:

5.16.4.78 Agricultural Zone Exception (A-X78),

Part of Lot 24, Conc. 6 in the former Township of Cambridge.  
(1747 Route 500 West)

Notwithstanding the provisions of Sections 3.154.2, on the land zoned "A-X78", a small motors and recreational vehicles, weighing less than 1600 lbs, repair shop shall be considered as a Non-Residential Zone home occupation, and no more than 3 vehicles at a time shall be permitted.

**Section 4:** All other provisions of By-Law 2-2006 shall continue to apply.

**Section 5:** Subject to the giving of notice of passing of this By-Law, in accordance with Section 34(18) of the Planning Act, R.S.O. 1990 as amended, this By-Law shall come into force on the date of passing by the Council of the Corporation of The Nation Municipality where no notice of appeal or objection is received, pursuant to Section 34(21) of the Planning Act, R.S.O. 1990 as amended.

**READ FIRST AND SECOND TIME  
READ A THIRD TIME AND PASSED**

this 29<sup>th</sup> day of August 2022  
this 29<sup>th</sup> day of August 2022

\_\_\_\_\_  
**François St. Amour  
Mayor**

\_\_\_\_\_  
**Josée Brizard  
Clerk**

## **NOTE EXPLICATIVE**

### **But et effet du Règlement # 103-2022**

La propriété concernée par cette modification au règlement de zonage 2-2006 porte le numéro civique 1747 route 500 ouest.

La modification a pour but de modifier la catégorie de zonage du terrain pour permettre un atelier de réparations de petits moteurs et véhicules récréatifs de moins de 680 kg. Aussi un maximum de trois véhicules à la fois est permis.

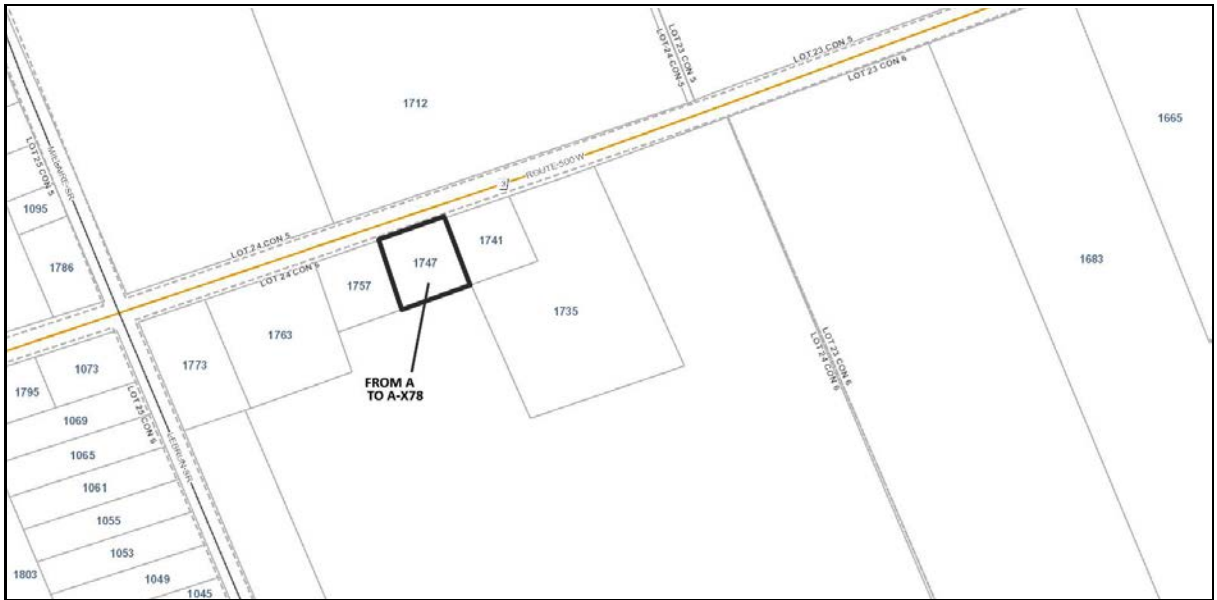
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## **EXPLANATORY NOTE**

### **Purpose and Effects of By-Law #103-2022**

The properties affected by this amendment to Zoning By-Law 2-2006 are located on part of Lot 28, Concession 1 of the former Township of Cambridge.

The purpose of the amendment is to change the zoning category of the property to allow a repair shop for small engines and recreational vehicles under 680 kg. Also a maximum of three vehicles at a time is permitted.



<p>Area(s) affected by this by-law</p> <p>Part of Lot 24, Concession 6 in the former Township of Cambridge, now The Nation Municipality.</p> <p>Certificate of Authenticity</p> <p>Schedule "A" to By-Law No. 103-2022</p> <p>_____</p> <p>François St. Amour Mayor</p>	<p>This plan is Schedule "A" to Zoning By-Law 103-2022 passed the 29<sup>th</sup> day of AUGUST, 2022.</p> <p>Prepared by:</p> <p>The Nation Municipality 958, Route 500 west Casselman ON. K0A 1M0</p> <p>_____</p> <p>Josée Brizard Clerk</p>
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**EXEMPTION FROM PART LOT CONTROL BY-LAW  
CORPORATION OF THE NATION MUNICIPALITY  
BY-LAW NO. 105-2022**

"Being a By-law to exempt certain lands from Part Lot Control, in Registered Plan 50M363, on a Street legally named CHRISTIAN STREET, in the Nation Municipality and in the County of Russell."

**WHEREAS** pursuant to the request from LES HABITATIONS LECLAIR INC., it is expedient to exempt from Part Lot Control certain lands being BLOCK 8, Registered Plan 50M363, on a Street legally named Christian Street;

**WHEREAS** the Planning Act, R.S.O. 1990, c.P.13, as amended, (the "Planning Act") subsection 50(5) provides that all lands within a plan of subdivision are subject to part lot control;

**WHEREAS** authority is vested in Council of municipalities by the Planning Act, subsection 50(7) to enact by-laws which provide that subsection 50(5) does not apply to lands that are within a registered plan of subdivision as are designated in the by-law;

**AND WHEREAS** the Planning Act, subsection 50(7.1) does not come into effect until approved by the United Counties of Prescott and Russell;

**NOW THEREFORE** THE COUNCIL OF THE CORPORATION OF THE NATION MUNICIPALITY ENACTS AS FOLLOWS:

1. a) Parts 1, 2, 3 and 4 on Plan 50R11337 being part of BLOCK 8, ON PLAN 50M363 (part of PIN 69027-0833 LT), designated for the purpose of this By-Law as Parcel "A"; and  
b) Parts 5 and 6 on Plan 50R11337 being part of BLOCK 8, ON PLAN 50M363 (part of PIN 69027-0833 LT), designated for the purpose of this by-law as Parcel "B"; and  
c) Parts 7 and 8 on Plan 50R11337 being part of BLOCK 8, ON PLAN 50M363 (part of PIN 69027-0833 LT), designated for the purpose of this by-law as Parcel "C"; and  
d) Parts 9, 10, 11 and 12 on Plan 50R11337 being part of BLOCK 8, ON PLAN 50M363 (part of PIN 69027-0833 LT), designated for the purpose of this by-law as Parcel "D";
2. That this By-Law shall come into force upon approval and shall expire on August 29, 2024 unless the Council of the Corporation of the Nation Municipality has provided an extension by amendment to this by-law prior to its expiry.
3. THAT this By-law comes into force and effect when it is approved by the United Counties of Prescott and Russell.
4. THAT this by-law shall not be construed as to permit the further resubdivision or severance of any such parcel.
5. Registration of this by-law in the proper land registry office is authorized and this by-law shall thereupon become effective.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 29<sup>TH</sup> DAY OF AUGUST, 2022.

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Francois St-Amour  
Mayor

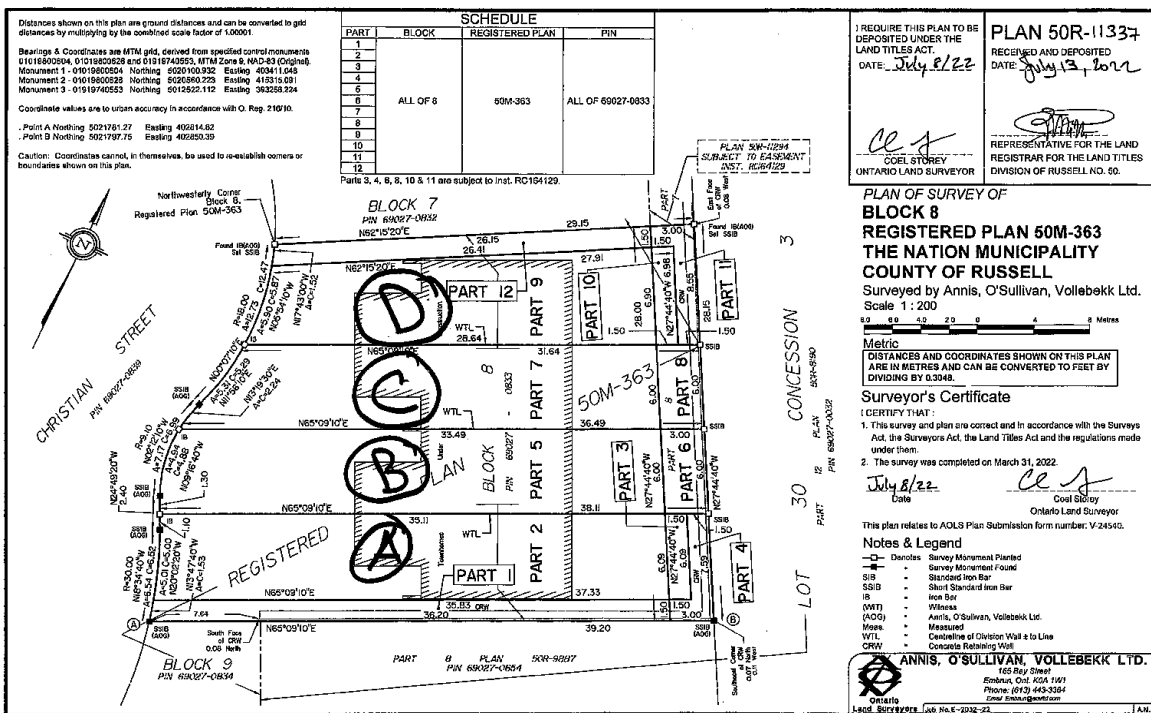
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Josee Brizard  
Clerk

**Pursuant to the United Counties of Prescott and Russell By-Law 2020-16, this by-law, having met the criteria for Part Lot Control exemption, is hereby APPROVED under Section 50(7) of the Planning Act, R.S.O. 1990, as amended.**

\_\_\_\_\_, United Counties of Prescott and Russell

INFORMATION SKETCHES NOT PART OF BY-LAW



# CORPORATION OF THE NATION MUNICIPALITY

## BY-LAW NO. 106-2022

**BEING A BY-LAW** for the Corporation of The Nation Municipality to amend By-Law No. 122-2015 regarding the collection of charges for capital costs to extend water distribution and sanitary sewer services to properties serviced by the Village of Limoges

**THEREFORE** the Council of the Corporation of The Nation Municipality **ENACTS AS FOLLOWS:**

**1.0** That By-Law No 122-2015 be amended to include the following changes:

1.1 Section 2.1 Definitions “Unit” be amended to read as follows:

“Unit” is defined as a single quantity of occupancy under single ownership regarded as a whole in the calculation and determined as a standard of measurement. For the purpose of calculating the number of units, the first unit, regardless of size, shall be one and any additional unit 700 square feet or less shall be set out as 0.50 of a unit per connection and additional units 701 square feet or more shall be deemed as one.

## **2.0 EFFECTIVE DATE**

2.1 This By-Law shall come into force and effect on the date of its passing and hereby repeals By-Law 103-2016 as of this date.

READ A FIRST, SECOND AND DULY PASSED UPON THE THIRD READING  
THIS 29<sup>th</sup> DAY OF AUGUST 2022.

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François St Amour  
Mayor

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Josée Brizard  
CAO-Clerk

## CORPORATION OF THE NATION MUNICIPALITY

### BY-LAW NO. 107-2022

**BEING A BY-LAW** for the Corporation of The Nation Municipality to amend By-Laws listed in section 1.0 below regarding the provision of water works for the supplying of water services and the supplying of sanitary sewer services in the Nation Municipality.

**THEREFORE** the Council of the Corporation of The Nation Municipality **ENACTS AS FOLLOWS:**

**1.0** That the following By-Laws be amended to include the following changes:

- By-Law No 91-2010 St-Bernardin Sewer Capital Cost
- By-Law No 35-2011 Forest Park Sewer Capital Cost
- By-Law No 84-2012 St-Isidore Sewer Capital Cost
- By-Law No 102-2016 Fournier Sewer Capital Cost
- By-Law No 103-2019 St-Isidore Water Capital Cost
- By-Law No 85-2021 St-Albert Sewer Capital Cost
- By-Law No 10-2022 St-Isidore Water Usage Charge
- By-Law No 11-2022 Limoges Water NetworkUsage Charge
- By-Law No 12-2022 Sewer Usage Charge

**1.1** In the Definitions section, "Unit" be amended to read as follows:

"Unit" is defined as a single quantity of occupancy under single ownership regarded as a whole in the calculation and determined as a standard of measurement. For the purpose of calculating the number of units, the first unit, regardless of size, shall be one and any additional unit 700 square feet or less shall be set out as 0.50 of a unit per connection and additional units 701 square feet or more shall be deemed as one.

**2.0** All other provisions of the By-Laws listed above remain.

### **3.0 EFFECTIVE DATE**

**3.1** This By-Law shall come into force and effect on the date of its passing.

READ A FIRST, SECOND AND DULY PASSED UPON THE THIRD READING  
THIS 29<sup>th</sup> DAY OF AUGUST,2022.

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François St Amour  
Mayor

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Josée Brizard  
CAO-Clerk

**EXEMPTION FROM PART LOT CONTROL BY-LAW  
CORPORATION OF THE NATION MUNICIPALITY**

**BY-LAW NO. 108- 2022**

"Being a By-law to exempt certain lands from Part Lot Control, in Registered Plan 50M363, on a Street legally named CHRISTIAN STREET, in the Nation Municipality and in the County of Russell."

**WHEREAS** pursuant to the request from LES HABITATIONS LECLAIR INC., it is expedient to exempt from Part Lot Control certain lands being BLOCK 10, Registered Plan 50M363, on a Street legally named Christian Street;

**WHEREAS** the Planning Act, R.S.O. 1990, c.P.13, as amended, (the "Planning Act") subsection 50(5) provides that all lands within a plan of subdivision are subject to part lot control;

**WHEREAS** authority is vested in Council of municipalities by the Planning Act, subsection 50(7) to enact by-laws which provide that subsection 50(5) does not apply to lands that are within a registered plan of subdivision as are designated in the by-law;

**AND WHEREAS** the Planning Act, subsection 50(7.1) does not come into effect until approved by the United Counties of Prescott and Russell;

**NOW THEREFORE** THE COUNCIL OF THE CORPORATION OF THE NATION MUNICIPALITY ENACTS AS FOLLOWS:

1. a) Parts 9, 10, 11 and 12 on Plan 50R11350 being part of BLOCK 10, ON PLAN 50M363 (part of PIN 69027-0835 LT), designated for the purpose of this By-Law as Parcel "A"; and  
b) Parts 7 & 8 on Plan 50R11350 being part of BLOCK 10, ON PLAN 50M363 (part of PIN 69027-0835 LT), designated for the purpose of this by-law as Parcel "B"; and  
c) Parts 5 and 6 on Plan 50R11350 being part of BLOCK 10, ON PLAN 50M363 (part of PIN 69027-0835 LT), designated for the purpose of this by-law as Parcel "C"; and  
d) Parts 1, 2, 3 and 4 on Plan 50R11350 being part of BLOCK 10, ON PLAN 50M363 (part of PIN 69027-0835 LT), designated for the purpose of this by-law as Parcel "D";
2. That this By-Law shall come into force upon approval and shall expire on August 29, 2024 unless the Council of the Corporation of the Nation Municipality has provided an extension by amendment to this by-law prior to its expiry.
3. THAT this By-law comes into force and effect when it is approved by the United Counties of Prescott and Russell.
4. THAT this by-law shall not be construed as to permit the further resubdivision or severance of any such parcel.
5. Registration of this by-law in the proper land registry office is authorized and this by-law shall thereupon become effective.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 29<sup>TH</sup> DAY OF AUGUST, 2022.

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Francois St-Amour  
Mayor

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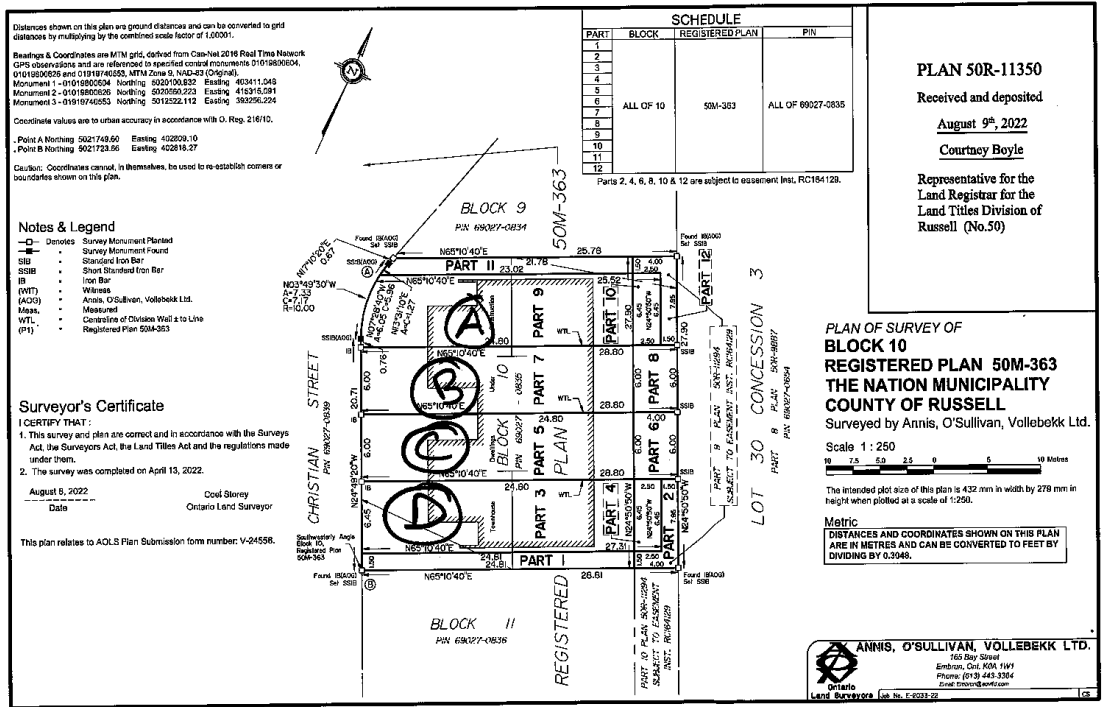
Josee Brizard  
Clerk

**Pursuant to the United Counties of Prescott and Russell By-Law 2020-16, this by-law, having met the criteria for Part Lot Control exemption, is hereby APPROVED under Section 50(7) of the Planning Act, R.S.O. 1990, as amended.**

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, United Counties of Prescott and Russell

SKETCH FOR INFORMATION PURPOSE ONLY NOT PART OF BY-LAW



**Accounts Payable Cheque Register Report - Caisse Populaire Nouvel-horizon Inc.-603910**

For The Date Range From 08/11/2022 To 08/30/2022

For All Vendors And For Outstanding, Cleared Cheques - Computer Generated, eCheque

Cheque # / eCheque ID	Type	Date	Vendor	Name	Amount	Status
12864	C	08/19/2022	7	A.L. BLAIR CONSTRUCTION LTD	\$303.91	O
12865	C	08/19/2022	106	CLEMENT ALAIN	\$288.60	O
12866	C	08/19/2022	193	HOULE MARIE	\$161.10	O
12867	C	08/19/2022	268	BURELLE RENTOOLS	\$226.45	O
12868	C	08/19/2022	286	MEUBLE HOME FURNITURE	\$142.02	O
12869	C	08/19/2022	294	MINISTRY OF TRANSPORTATION	\$8.25	O
12870	C	08/19/2022	444	TRAITEMENT D'EAU DESFORGES	\$162.04	O
12871	C	08/19/2022	459	VICE & HUNTER LLP	\$3,217.68	O
12872	C	08/19/2022	662	LAFLECHE MICHEL	\$200.00	O
12873	C	08/19/2022	939	SSQ INSURANCE COMPANY INC.	\$93.34	O
12874	C	08/19/2022	980	DESFORGES BENOIT	\$300.00	O
12875	C	08/19/2022	1098	BLAIR ASPHALT PRODUCTS	\$3,657.81	O
12876	C	08/19/2022	1731	LES EMBALLAGES ST-EUGENE PACKAGING "ORGANIX"SOI	\$56.50	O
12877	C	08/19/2022	2711	BERNARD L. BOULERICE	\$915.30	O
12878	C	08/19/2022	2815	INTEGRATED DESIGN ENGINEERING & ARCHITECTURE	\$15,639.02	O
12879	C	08/19/2022	2893	JEAN-CLAUDE BELISLE	\$100.00	O
12880	C	08/19/2022	2941	TEC SURVEYING INC.	\$734.50	O
12881	C	08/19/2022	3076	INTACT PUBLIC ENTITIES	\$2,728.33	O
12882	C	08/19/2022	3091	SOCIETE PROFESSIONNELLE LACOMBE	\$8,881.80	O
12883	C	08/19/2022	3127	JEREMY GAUTHIER	\$150.00	O
12884	C	08/19/2022	3130	SPORTSYSTEMS CANADA	\$4,008.11	O
12885	C	08/19/2022	3163	G. DUPUIS PAVING & INTERLOCK INC.	\$9,040.00	O
12886	C	08/19/2022	3164	LES ENTREPRISES H.D.J.S. GASCON LTÉE/LTD	\$29,518.14	O
12887	C	08/19/2022	3165	MIGNAULT, JEAN	\$100.00	O
12888	C	08/19/2022	3166	LESSARD, VANESSA	\$100.00	O
12889	C	08/19/2022	3167	PACIFIC TIER SOLUTIONS INCORPORATED	\$6,959.84	O
12890	C	08/19/2022	3168	BOURGON, CLAUDE	\$100.00	O
12891	C	08/19/2022	3169	NITTI, JOSEPH	\$227.04	O
12892	C	08/19/2022	3170	SAAD, VALERIE	\$250.00	O
12893	C	08/30/2022	7	A.L. BLAIR CONSTRUCTION LTD	\$852.27	O
12894	C	08/30/2022	107	CLIFTONDALE CONSTRUCTION LTD	\$4,320.84	O
12895	C	08/30/2022	212	JP DESIGN	\$1,083.44	O
12896	C	08/30/2022	268	BURELLE RENTOOLS	\$452.00	O
12897	C	08/30/2022	281	MCINTOSH PERRY CONSULTING ENG.	\$8,616.82	O
12898	C	08/30/2022	290	MINISTER OF FINANCE	\$138,674.00	O

## Accounts Payable Cheque Register Report - Caisse Populaire Nouvel-horizon Inc.-603910

For The Date Range From 08/11/2022 To 08/30/2022

For All Vendors And For Outstanding, Cleared Cheques - Computer Generated, eCheque

Cheque # / eCheque ID	Type	Date	Vendor	Name	Amount	Status
12899	C	08/30/2022	341	PETTY CASH - DEPT VOIRIE	\$45.55	O
12900	C	08/30/2022	366	RECEVEUR GENERAL DU CANADA	\$103.30	O
12901	C	08/30/2022	440	MINISTER OF FINANCE	\$4,089.63	O
12902	C	08/30/2022	444	TRAITEMENT D'EAU DESFORGES	\$929.07	O
12903	C	08/30/2022	684	QUATROSENSE ENVIRONMENTAL LTD	\$468.95	O
12904	C	08/30/2022	1200	LE COIN DU LIVRE	\$113.11	O
12905	C	08/30/2022	2794	SANI GEAR INC.	\$350.98	O
12906	C	08/30/2022	2958	HAWKESBURY PROTECTIVE COATINGS	\$1,254.30	O
12907	C	08/30/2022	3161	SOUUDURE G.L.	\$1,330.10	O
12908	C	08/30/2022	3171	POIRIER, LEON	\$100.00	O
63702	E	08/19/2022	11	ABC DISPOSAL	\$508.31	O
63703	E	08/19/2022	65	BRAZEAU SANITATION INC	\$146.90	O
63704	E	08/19/2022	75	CADUCEON ENTREPRISES INC	\$1,778.20	O
63705	E	08/19/2022	91	CASSELMAN GAS BAR	\$153.01	O
63706	E	08/19/2022	92	CASSELMAN CEMENT AG INC	\$152.98	O
63707	E	08/19/2022	117	COOPERATIVE AGRICOLE D'EMBRUN	\$1,814.56	O
63708	E	08/19/2022	125	DENCHEM SURFACE SOLUTION	\$7,249.85	O
63709	E	08/19/2022	147	ENTREPRISE BOURDEAU	\$68.30	O
63710	E	08/19/2022	151	AEBI SCHMIDT CANADA INC.	\$304,687.17	O
63711	E	08/19/2022	171	FUTURE OFFICE PRODUCTS	\$411.86	O
63712	E	08/19/2022	180	GARAGE M.H BERCIER INC	\$7,248.49	O
63713	E	08/19/2022	202	J.B. MOBILE MECHANIC INC	\$768.59	O
63714	E	08/19/2022	225	GFL ENVIRONMENTAL INC	\$7,316.43	O
63715	E	08/19/2022	226	LAFLECHE GUYLAIN	\$114.17	O
63716	E	08/19/2022	237	LAPLANTE CHEVROLET BUICK GMC LIMITED	\$216.02	O
63717	E	08/19/2022	255	LEROUX JEANNE	\$215.60	O
63718	E	08/19/2022	262	LES SERVICES EXP INC	\$3,361.75	O
63719	E	08/19/2022	267	LIONEL DESNOYERS REFRIGERATION	\$216.96	O
63720	E	08/19/2022	289	MIKE'S WASTE DISPOSAL INC	\$55,168.86	O
63721	E	08/19/2022	304	QUADIENT CANADA LTD.-DPOC	\$1,007.62	O
63722	E	08/19/2022	313	OMERS	\$64,196.26	O
63723	E	08/19/2022	351	PNEU LANDRIAULT TIRE	\$2,920.87	O
63724	E	08/19/2022	398	SIMO MANAGEMENT INC	\$8,542.80	O
63725	E	08/19/2022	402	SOUTH NATION CONSERVATION DE LA NATION SUD	\$2,010.00	O
63726	E	08/19/2022	438	THE REVIEW	\$337.87	O

## Accounts Payable Cheque Register Report - Caisse Populaire Nouvel-horizon Inc.-603910

For The Date Range From 08/11/2022 To 08/30/2022

For All Vendors And For Outstanding, Cleared Cheques - Computer Generated, eCheque

Cheque # / eCheque ID	Type	Date	Vendor	Name	Amount	Status
63727	E	08/19/2022	450	UNITED COUNTIES OF PRESCOTT &	\$25,046.67	O
63728	E	08/19/2022	458	VIA RAIL CANADA INC	\$1,635.00	O
63729	E	08/19/2022	533	SPUEHLER SHOP	\$525.25	O
63730	E	08/19/2022	569	ISOLARA SOLAR POWER	\$1,000.00	O
63731	E	08/19/2022	573	LEADERSHIP DYNAMIKS	\$3,270.00	O
63732	E	08/19/2022	659	GAGNIER YVES	\$200.00	O
63733	E	08/19/2022	804	GAGNON WELDING & MACHINING INC	\$757.10	O
63734	E	08/19/2022	899	EMOND HARNDEN LLP/S.R.L.	\$6,125.74	O
63735	E	08/19/2022	954	CDW CANADA INC.	\$4,632.01	O
63736	E	08/19/2022	1063	MALBEUF TECH SOLUTIONS	\$1,594.15	O
63737	E	08/19/2022	1245	LANTHIER MARIE-NOELLE	\$112.00	O
63738	E	08/19/2022	1259	SSC Maintenance Services Inc	\$2,314.92	O
63739	E	08/19/2022	1276	CAPITAL CONTROLS	\$1,150.61	O
63740	E	08/19/2022	1316	BPM PROPERTY MAINTENANCE	\$6,977.75	O
63741	E	08/19/2022	1395	CASSELMAN CEMENT SA INC.	\$96.05	O
63742	E	08/19/2022	1405	ESI TECHNOLOGIES DE L'INFORMATION INC	\$688.22	O
63743	E	08/19/2022	1602	SKS LAW LLP/SRL	\$8,356.07	O
63744	E	08/19/2022	1842	SELECTCOM INC	\$2,434.24	O
63745	E	08/19/2022	1902	MATERIAUX PONT-MASSON RONA	\$58.67	O
63746	E	08/19/2022	2035	SUNBELT RENTALS, INC	\$8,893.93	O
63747	E	08/19/2022	2108	TELMATIK	\$437.88	O
63748	E	08/19/2022	2261	MD AUTO CARE INC	\$28.25	O
63749	E	08/19/2022	2648	MICHEL LAMOUREUX	\$200.00	O
63750	E	08/19/2022	3099	SOLID BASE CONSTRUCTION LTD	\$229,032.00	O
63751	E	08/30/2022	9	AALTO TECHNOLOGIES	\$965.13	O
63752	E	08/30/2022	30	AUTO PARTS EXTRA PIECES D'AUTO	\$883.09	O
63753	E	08/30/2022	65	BRAZEAU SANITATION INC	\$1,118.70	O
63754	E	08/30/2022	71	BYTOWN LUMBER	\$1,070.47	O
63755	E	08/30/2022	91	CASSELMAN GAS BAR	\$60.00	O
63756	E	08/30/2022	101	LBEL INC	\$364.31	O
63757	E	08/30/2022	110	COLACEM CANADA INC	\$1,323.29	O
63758	E	08/30/2022	116	UNIAG COOPERATIVE	\$141.35	O
63759	E	08/30/2022	117	COOPERATIVE AGRICOLE D'EMBRUN	\$1,161.22	O
63760	E	08/30/2022	145	ELECTROTEK INC	\$145.52	O
63761	E	08/30/2022	158	FERNAND DENIS INC	\$1,244.99	O

## Accounts Payable Cheque Register Report - Caisse Populaire Nouvel-horizon Inc.-603910

For The Date Range From 08/11/2022 To 08/30/2022

For All Vendors And For Outstanding, Cleared Cheques - Computer Generated, eCheque

Cheque # / eCheque ID	Type	Date	Vendor	Name	Amount	Status
63762	E	08/30/2022	175	G.D.S HYDRAULIC INC	\$147.41	O
63763	E	08/30/2022	202	J.B. MOBILE MECHANIC INC	\$2,354.01	O
63764	E	08/30/2022	204	J.R BRISSON EQUIP LTEE	\$6,550.47	O
63765	E	08/30/2022	225	GFL ENVIRONMENTAL INC	\$8,272.70	O
63766	E	08/30/2022	237	LAPLANTE CHEVROLET BUICK GMC LIMITED	\$206.82	O
63767	E	08/30/2022	238	LAPOINTE DRAINAGE	\$3,086.03	O
63768	E	08/30/2022	269	LOCATION SHALKA RENTAL LTD	\$224.87	O
63769	E	08/30/2022	289	MIKE'S WASTE DISPOSAL INC	\$10,167.11	O
63770	E	08/30/2022	323	PAPETERIE GERMAIN INC	\$511.53	O
63771	E	08/30/2022	351	PNEU LANDRIAULT TIRE	\$606.13	O
63772	E	08/30/2022	364	RAPCO EQUIPMENT INC	\$114.13	O
63773	E	08/30/2022	400	SOLENO INC	\$33,227.72	O
63774	E	08/30/2022	449	UNIPRO ST-ISIDORE	\$121.41	O
63775	E	08/30/2022	450	UNITED COUNTIES OF PRESCOTT &	\$492,143.92	O
63776	E	08/30/2022	533	SPEHLER SHOP	\$363.59	O
63777	E	08/30/2022	899	EMOND HARNDEN LLP/S.R.L.	\$5,021.72	O
63778	E	08/30/2022	954	CDW CANADA INC.	\$3,800.11	O
63779	E	08/30/2022	1000	SAFETYCARE INC.	\$4,237.50	O
63780	E	08/30/2022	1259	SSC Maintenance Services Inc	\$991.06	O
63781	E	08/30/2022	1276	CAPITAL CONTROLS	\$259.90	O
63782	E	08/30/2022	1308	AJ STONE COMPANY LTD	\$2,587.70	O
63783	E	08/30/2022	1393	BEACON LITE (OTTAWA) LTD.	\$5,036.41	O
63784	E	08/30/2022	1523	ROBERT EXCAVATING	\$1,212,504.74	O
63785	E	08/30/2022	1710	BRIZARD, JOSEE	\$125.95	O
63786	E	08/30/2022	1794	COALWATER EXCAVATION INC.	\$5,798.03	O
63787	E	08/30/2022	1829	MAXI POWER ELECTRICAL SERVICES INC.	\$2,348.34	O
63788	E	08/30/2022	1853	PINE ENVIRONMENTAL SERVICES INC	\$4,928.66	O
63789	E	08/30/2022	1854	MAINVILLE SEBASTIEN	\$25.79	O
63790	E	08/30/2022	1902	MATERIAUX PONT-MASSON RONA	\$146.64	O
63791	E	08/30/2022	2031	HACH SALES & SERVICE CANADA LP	\$2,168.46	O
63792	E	08/30/2022	2035	SUNBELT RENTALS, INC	\$8,893.93	O
63793	E	08/30/2022	2423	W.O. STINSON & SON LTD.	\$26,792.95	O
63794	E	08/30/2022	2550	BRANDT TRACTOR LTD	\$395.99	O
63795	E	08/30/2022	2600	JULIEN BENOIT	\$1,575.00	O
63796	E	08/30/2022	3088	PITNEY BOWES POSTAGE BY PHONE	\$4,113.20	O

## Accounts Payable Cheque Register Report - Caisse Populaire Nouvel-horizon Inc.-603910

For The Date Range From 08/11/2022 To 08/30/2022

For All Vendors And For Outstanding, Cleared Cheques - Computer Generated, eCheque

Cheque # / eCheque ID	Type	Date	Vendor	Name	Amount	Status
63797	E	08/30/2022	3089	PITNEY BOWES LEASING	\$505.11	O
63798	E	08/30/2022	3172	XPLORNATION	\$1,612.05	O
BELL CANADA	E	08/19/2022	43	BELL CANADA	\$453.80	O
BELL CANADA	E	08/19/2022	46	BELL CANADA	\$246.34	O
BELL CANADA	E	08/30/2022	46	BELL CANADA	\$2,319.39	O
BELL MOBILITY INC.	E	08/30/2022	47	BELL MOBILITY INC.	\$2,449.84	O
DESJARDINS SÉCURITÉ FINANCIÈRE	E	08/19/2022	3017	DESJARDINS SÉCURITÉ FINANCIÈRE	\$34,194.10	O
ENBRIDGE CONSUMER GAS	E	08/19/2022	146	ENBRIDGE CONSUMER GAS	\$82.09	O
HYDRO ONE NETWORKS INC	E	08/19/2022	198	HYDRO ONE NETWORKS INC	\$19,809.96	O
HYDRO ONE NETWORKS INC	E	08/30/2022	198	HYDRO ONE NETWORKS INC	\$9,259.25	O
IMPERIAL - FIRE #188891	E	08/30/2022	199	IMPERIAL - FIRE #188891	\$803.49	O
IMPERIAL OIL - ROAD- 188890	E	08/19/2022	479	IMPERIAL OIL - ROAD-188890	\$275.42	O
JOHN DEERE FINANCIAL	E	08/19/2022	16	JOHN DEERE FINANCIAL	\$1,521.56	O
JOHN DEERE FINANCIAL	E	08/30/2022	16	JOHN DEERE FINANCIAL	\$138.27	O
RECEVEUR GENERAL DU CANADA	E	08/19/2022	366	RECEVEUR GENERAL DU CANADA	\$59,332.98	O
RECEVEUR GENERAL DU CANADA	E	08/30/2022	366	RECEVEUR GENERAL DU CANADA	\$61,668.93	O
SHAW DIRECT	E	08/30/2022	1729	SHAW DIRECT	\$89.24	O
ULTRAMAR- PARKLAND FUEL CORPORATION	E	08/19/2022	3120	ULTRAMAR-PARKLAND FUEL CORPORATION	\$341.72	O
VISA DESJARDINS	E	08/19/2022	465	VISA DESJARDINS	\$15,077.83	O

**TOTAL****\$3,095,743.45**

## Aimée Roy

---

**From:** Centre Novas-CALACS francophone de Prescott-Russell <appui\_ind@centrenovas.ca>  
**Sent:** Wednesday, August 24, 2022 9:25 AM  
**To:** Aimée Roy; Josée Brizard  
**Subject:** New submission from Demande de don

### Formulaire de demande de don

#### Nom de l'organisation

Centre Novas-CALACS francophone de Prescott-Russell

#### Adresse postale

25 rue Industriel  
Casselman, Ontario K0A 1M0  
Canada  
[Map It](#)

#### Téléphone

(613) 764-5700

#### Nom de la personne ressource

Julie Delorme

#### Téléphone

(613) 764-5700

#### Adresse courriel

[appui\\_ind@centrenovas.ca](mailto:appui_ind@centrenovas.ca)

### Section B - Sommaire de la demande

#### Votre demande est pour:

- Une activité / événement

#### Montant demandé

500 ou plus

#### Nom de l'activité ou liste des activités

Revue collective pour adolescentes de Prescott-Russell (2e édition)

#### Description de l'activité ou liste des activités

Cette revue permet de mettre de l'avant une panoplie de créations faites par les adolescentes elles-mêmes. Les adolescentes d'aujourd'hui et les femmes de demain font face à une tout autre réalité qui n'est pas toujours comprise ou mise de l'avant. En leur offrant cette opportunité, elles peuvent briser l'isolement, présenter leur créativité et développer davantage leur leadership au sein de leur communauté. La seule consigne sera de représenter, selon leur perception unique, Ma voix (en tant que fille !).

#### Date de début de l'activité

12/01/2022

#### Endroit(s) de l'activité / des activités

Prescott-Russell

**Est-ce que vous chargez un frais d'admission?**

- Non

**Décrire comment la contribution de La Nation sera-t-elle reconnue**

Remerciement dans la revue

**Si la somme demandée est plus de 1 000 \$, veuillez décrire comment les fonds seront utilisés pour votre événement ou vos événements. Il est possible que le Conseil vous demande de remettre un rapport financier.**

Les fonds seront utilisés pour l'impression des revues. Chaque adolescentes des écoles (de la 7e à la 10e année) francophones de Prescott-Russell, recevra une copie.

**Le cas échéant, l'organisme consent à remettre un rapport au Conseil de La Nation**

Oui

# Flambées en cours

Prenez note qu'une flambée est en cours dans les établissements suivants.

**Format de la date** : année-mois-jour

**DATE**: 2022-08-26

ÉTABLISSEMENT	LIEU	TYPE DE FLAMBÉE	ORGANISME IDENTIFIÉ	SIGNALÉ RAPPORTÉ	DATE DE LA FIN DE LA FLAMBÉE	DERNIÈRE MISE À JOUR
Community Living Dundas - First Street	Morrisburg	COVID	COVID	2022-08-25		2022-08-25
St Joseph's Continuing Care Centre (McNeil House)	Cornwall	COVID	COVID	2022-08-22		2022-08-22
Community Living Dundas - Schell Street	Williamsburg	COVID	COVID	2022-08-22		2022-08-22
McGill Manor 1	Hawkesbury	COVID	COVID	2022-08-22		2022-08-22
St-Denis Centre	Cornwall	COVID	COVID	2022-08-22		2022-08-22
St- Joseph's Complex Continuing Care (Mantel House)	Cornwall	COVID	COVID	2022-08-19		2022-08-19
Riverview Manor	Cornwall	COVID	COVID	2022-08-18		2022-08-18
Glengarry Memorial Hospital (Medicine & Rehab units)	Alexandria	MSRA	MSRA	2022-08-18		2022-08-18
Valley Garden Retirement Home	Green Valley	COVID	COVID	2022-08-18		2022-08-18
Parisien Manor	Cornwall	COVID	COVID	2022-08-17		2022-08-17
The Palace Long Term Care	Alexandria	COVID	COVID	2022-08-17		2022-08-17
Manoir McGill 2- 261 McGill	Hawkesbury	COVID	COVID	2022-08-16		2022-08-16
Valoris 220 Laurier	Rockland	COVID	COVID	2022-08-11	2022-08-18	2022-08-18
Valley Garden RH	Cornwall	COVID	COVID	2022-08-15	2022-08-25	2022-08-25
St- Joseph's Complex Continuing Care (Cobey House)	Cornwall	COVID	COVID	2022-08-12		2022-08-12
Pinecrest Nursing Home	Plantagenet	COVID	COVID	2022-08-08		2022-08-08
St- Joseph's Complex Continuing Care (Mantel House)	Cornwall	COVID	COVID	2022-08-04	2022-08-15	2022-08-15
Maison Interlude	Hawkesbury	COVID	COVID	2022-08-04	2022-08-16	2022-08-16
Cornwall Community Hospital - 2600 POD	Cornwall	COVID	COVID	2022-08-03	2022-08-12	2022-08-12
Cornwall Community Hospital 2800 POD	Cornwall	COVID	COVID	2022-08-02	2022-08-20	2022-08-22
Valoris Domaine Larose	Casselman	COVID	COVID	2022-08-02	2022-08-15	2022-08-15
Glen Stor Dun Lodge	Cornwall	COVID	COVID	2022-08-02		2022-08-02
Heritage Heights	Cornwall	COVID	COVID	2022-08-02	2022-08-23	2022-08-23
Sandfield Place LTC	Cornwall	COVID	COVID	2022-07-28	2022-08-17	2022-08-17
Residence St- Mathieu	Hammond	COVID	COVID	2022-07-26	2022-08-15	2022-08-15

ÉTABLISSEMENT	LIEU	TYPE DE FLAMBÉE COVID	ORGANISME IDENTIFIÉ COVID	DATE DE RAPPORTÉ	DATE DE LA FIN DE LA FLAMBÉE	DERNIÈRE MISE À JOUR
The Palace Retirement Home Le Genesis Retirement Home	Alexandria Limoges	COVID COVID	COVID COVID	2022-07-25	2022-08-18	2022-08-18
Residence Prescott-Russell	Hawkesbury	COVID	COVID	2022-07-22	2022-08-18	2022-08-18
Russell Meadows Retirement Home	Russell	COVID	COVID	2022-07-22	2022-08-22	2022-08-22
Heartwood LTC	Cornwall	COVID	COVID	2022-07-18	2022-08-23	2022-08-23
Rockland Manor	Rockland	COVID	COVID	2022-07-12	2022-08-15	2022-08-15

### Définition d'une écloison de COVID-19 dans un établissement

À partir du 3 février 2022, la définition d'une écloison de COVID-19 dans un établissement consiste de la présence d'au moins deux cas confirmés parmi les résidents et/ou le personnel/autres visiteurs dans une résidence, chacun avec un test PCR OU un test moléculaire rapide OU un test antigène rapide positif, ET qui sont reliés par un lien épidémiologique, dans une période de 10 jours.

### Activité grippale dans la région

Des cas sporadiques d'influenza A sont signalé dans la région.

- [Cliquer ici pour connaître l'activité grippale dans la province](#)
- [Cliquer ici pour connaître l'activité grippale au pays.](#)

- [Cliquez ici pour retourner à la page précédente.](#)
- [Cliquez ici pour retourner à la page d'accueil.](#)



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[www.EOHU.ca](http://www.EOHU.ca) • 1 800 267-7120 • [www.BSEO.ca](http://www.BSEO.ca)

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August 11, 2022

### **In This Issue**

- Important AMO 2022 information to look for.
- ?Thank you to AMO 2022 partners, sponsors and exhibitors!
- LAS Blog: You're invited to the AMO Conference.
- Win an iPad!
- Knowledge uncovers significant energy savings.
- Modern lighting to decrease your energy costs.
- Digital partner surveys - Feedback requested.
- Enhance your professional development with OMSSA.
- Careers: MOE, MOEDJCT, TTC, Innisfil and Simcoe County.

### **Eye on Events**

On August 9 all registered AMO 2022 delegates received an email with important information on registering and planning for AMO's Conference in Ottawa August 14 - 17. Don't miss this helpful information. Haven't yet registered? You can in person Sunday, August 14, from 9 am.

The importance of partners, sponsors and exhibitors to the success of the AMO 2022 Conference cannot be overstated. AMO is truly grateful and looks forward to their participation in Ottawa, August 14 -17. Onsite registration will open Sunday, August 14, at 9 am in the Shaw Centre. Visit our program page to see all the outstanding educational offerings and events planned for AMO 2022

### **LAS**

The AMO 2022 Conference starts this weekend and it's in person! Between August 14-17, delegates will have a wide variety of sessions to choose from. Read about some of the topics here.

It's your chance to have your say about how LAS can help your community work better, visit the LAS booth August 14 and 15 at the AMO Conference and fill out a survey. We'll enter your name in a draw to win an iPad.

Older lighting technology accounts for appx. 20 - 30% of your facility's energy cost. Upgrading to LED will change that. With over 65 lighting projects completed through the Facility Lighting Service, municipalities are collectively saving over \$1 million annually. Contact Christian Tham for your free budget proposal.

Knowledge gained from Energy Training workshops can uncover significant energy savings. In partnership with Stephen Dixon, with over 55 workshops and 300 attendees, participants have discovered huge energy savings opportunities in their municipal facilities. Contact Christian Tham to book your custom workshop.

LAS wants your feedback on two offerings from our digital partners - the [accessible website builder](#) and the [digital citizen relationship management \(CRM\) software](#). The surveys will take approximately 5 minutes each to complete. Please submit your feedback by August 12.

### **Municipal Wire\***

This fall, the Ontario Municipal Social Services Association (OMSSA) offers a full slate of virtual workshops designed to build your key skills and competencies. Visit our website and [register](#) for a course today.

### **Careers**

[Executive Director, Provincial and Demonstration Schools - Ministry of Education](#).

Provides oversight and strategic leadership to superintendents and managers, that deliver education, curriculum, programs, maintenance, housekeeping, food service operations, IT, lodging, transportation and support services. Submission Deadline: August 31.

[Senior Program Advisor - Ministry of Economic Development, Job Creation and Trade](#).

Plan, organize and complete a diverse range of assigned projects. Submission Deadline: August 18.

[Director, Planning & Growth - Town of Innisfil](#). Provides dedicated leadership across a portfolio that encompasses Capital & Development Engineering, Building/Inspection, Municipal By-Law, Economic Development and Planning. Submission Deadline: September 9.

[Director, Talent Acquisition and Outreach - TTC](#). Oversees all aspects of: recruitment; retention strategies for the organization; compensation; internal client group hiring/partnering strategies; requests for proposals (RFP) for talent acquisition services; and more. Submission Deadline: September 2.

[Legislative Coordinator - County of Simcoe](#). Position provides a wide-range of senior level pre- and post-meeting support services to Council, Committees and to staff. Submission Deadline: August 31.

[Accounting Supervisor - County of Simcoe](#). responsible for supervising staff and performing financial requirements within their portfolio. Submission Deadline: August 24.

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### **About AMO**

AMO is a non-profit organization representing almost all of Ontario's 444 municipal governments. AMO supports strong and effective municipal government in Ontario and promotes the value of municipal government as a vital and essential component of Ontario's and Canada's political system. Follow [@AMOPolicy](#) on Twitter!

### **AMO Contacts**

AMO Watchfile Tel: 416.971.9856

[Conferences/Events](#)

[Policy and Funding Programs](#)

[LAS Local Authority Services](#)

[MEPCO Municipal Employer Pension Centre of Ontario](#)

[ONE Investment](#)

[Media Inquiries](#)

[Municipal Wire, Career/Employment and Council Resolution Distributions](#)

AMO's Partners



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August 18, 2022

## In This Issue

- 2022 PJ Marshall Municipal Innovation Awards.
- Blog: What are group benefits - really?
- Knowledge uncovers significant energy savings.
- Modern lighting to decrease your energy costs.
- Enhance your professional development with OMSSA.
- Careers: MOE, Legal Services Board of Nunavut and Pembroke.

## AMO Matters

This year's recipients of the PJ Marshall Municipal Innovation Award at the 2022 AMO AGM are [Prince Edward County's proactive approach to financing infrastructure](#) and service expansion to support new housing development, [York Region's innovative use of microtunnelling technology](#) to improve wastewater infrastructure while reducing disruption to people and the environment; and, [Durham Region for its On Demand transit service](#) which ensures that all residents have access to transit regardless of where they live in the Region.

## LAS

If a municipality were shopping for a new group benefits insurance company or wanted to compare rates, the process isn't a simple 24-hour turnaround. We sat down with Group Benefits program partner, Mosey and Mosey, and [asked a few questions](#).

Older lighting technology accounts for appx. 20 - 30% of your facility's energy cost. Upgrading to LED will change that. With over 65 lighting projects completed through the [Facility Lighting Service](#), municipalities are collectively saving over \$1 million annually. Contact [Christian Tham](#) for your free budget proposal.

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## Municipal Wire\*

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## Careers

[Chief Administrative Officer - Legal Services Board of Nunavut](#). Accountable for the leadership and implementation of programs that streamline the operational processes to deliver effective client legal services. Apply to [careers@phelpsgroup.ca](mailto:careers@phelpsgroup.ca) by September 13.

Chief Client Services Officer - Legal Services Board of Nunavut. Acts as a change agent and is accountable for all services and programs that impact clients. Apply to [careers@phelpsgroup.ca](mailto:careers@phelpsgroup.ca) by September 13.

Human Resources Director - Legal Services Board of Nunavut. You will lead the strategic planning for all human resources, workplace culture and well-being initiatives. Apply to [careers@phelpsgroup.ca](mailto:careers@phelpsgroup.ca) by September 13.

ADM, Drinking Water and Environmental Compliance - Ministry of the Environment. Provides overall direction for the strategic planning and delivery of innovative, risk-informed approaches to improve, monitor, and enforce compliance. Apply online, only, by August 28, 2022.

Chief Administrative Officer - City of Pembroke. The ideal candidate must have strong working knowledge of municipal legislation, statutes and regulations. Apply to [humanresources@pembroke.ca](mailto:humanresources@pembroke.ca) by September 10.

### About AMO

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Media Inquiries

Municipal Wire, Career/Employment and Council Resolution Distributions

### AMO's Partners



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## Aimée Roy

---

**From:** AMO Communications <Communicate@amo.on.ca>  
**Sent:** Thursday, August 25, 2022 10:01 AM  
**To:** Aimée Roy  
**Subject:** AMO Watchfile - August 25, 2022

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August 25, 2022

### **In This Issue**

- Thank you for participating in AMO2022.
- Ontario accepting applications for Flood Hazard Identification & Mapping Program.
- Asset management training for municipalities.
- No-obligation quote for a 2023 road assessment.
- Investments 101 - Training seminars.
- Careers: Central Manitoulin and Halton Region.

### **AMO Matters**

More than 2,300 municipal leaders, government officials, public servants, sponsors, exhibitors, and media gathered over three days of packed programming. For AMO, it is a privilege to host one of the most important and influential public policy conferences in Canada. Thank you for supporting the work we do on your behalf. We look forward to seeing you again next year. Conference materials will be available soon. Stay tuned for more information.

### **Provincial Matters**

Applications are being accepted until September 16 for the Federal Flood Hazard Identification and Mapping Program. Up to 50% matched federal funding can be received for eligible flood mapping projects. Register here for and information webinar on August 30.

### **Eye on Events**

AMO is continuing to provide training in asset management to municipal staff through the Municipal Asset Management Program, which is delivered by the Federation of Canada Municipalities and funded by the Government of Canada. Contact [ccbf@amo.on.ca](mailto:ccbf@amo.on.ca) for more information.

### **LAS**

Is a road needs study part of your plan for 2023? Contact Tanner to get a no-obligation quote for a LAS Road & Sidewalk Assessment. Better data helps you make better

decisions for your community.

### **ONE Investment**

ONE Investment brings back in person one-day training seminars. In Fall 2022, Investments 101 sessions will be held in Barrie, Kingston, London, and Milton. For registration or further details, please contact [one@oneinvestment.ca](mailto:one@oneinvestment.ca).

### **Careers**

Chief Administrative Officer/Clerk - Municipality of Central Manitoulin. Responsible for providing advice to Council on corporate activities and the business affairs in compliance with by-laws, policies and statutory requirements. Apply to [centrilm@amtelecom.net](mailto:centrilm@amtelecom.net) by September 16.

Quality/Continuous Improvement Analyst - Halton Region. Works across departments to review and analyze operational processes, identify operational efficiencies, and facilitate workshops/meetings. Apply online by September 7.

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### **About AMO**

AMO is a non-profit organization representing almost all of Ontario's 444 municipal governments. AMO supports strong and effective municipal government in Ontario and promotes the value of municipal government as a vital and essential component of Ontario's and Canada's political system. Follow [@AMOPolicy](https://twitter.com/AMOPolicy) on Twitter!

### **AMO Contacts**

AMO Watchfile Tel: 416.971.9856

[Conferences/Events](#)

[Policy and Funding Programs](#)

[LAS Local Authority Services](#)

[MEPCO Municipal Employer Pension Centre of Ontario](#)

[ONE Investment](#)

[Media Inquiries](#)

[Municipal Wire, Career/Employment and Council Resolution Distributions](#)

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AMO's Partners



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\*Disclaimer: The Association of Municipalities of Ontario (AMO) is unable to provide any warranty regarding the accuracy or completeness of third-party submissions. Distribution of these items does not imply an endorsement of the views, information or services mentioned.



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**AMO** Association of  
Municipalities Ontario

ANNUAL REPORT | 2021



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## Message from the AMO President



I was very pleased to return to the role of AMO President in 2021. It was an important year for AMO and for our members as we navigated the second year of a global pandemic. It has been a rewarding experience, and I am very grateful for the opportunity to serve in this way.

AMO is governed by a dedicated volunteer Board of municipal councillors, heads of council, and public servants from every part of Ontario. They bring local intelligence and experience to the table and remarkable first-hand knowledge of the capacity, the needs, and aspirations of Ontario's \$50 billion municipal sector.

A big thank you to AMO staff who did a great job again in 2021. Through policy analysis and advocacy, member services, and our core administrative and business arm functions, AMO staff ensure our members are well served, well represented, and well informed. They also delivered another outstanding virtual conference in 2021 through a remarkable partnership with TVO and the Government of Ontario.

2021 was another year when municipalities rose to the challenge of protecting their communities and their economies, and creating an environment of confidence, recovery, and growth. It was also a year of collaboration and partnership with the provincial and federal governments as all orders of government cooperated to get the job done: maintaining key services and supports, to keep people safe and to safeguard economic stability.

AMO continues to be one of the most influential advocacy organizations in the country. Your support makes it possible. I want to thank AMO members for the work you do and for your support.

Your membership in AMO makes a world of difference.

A handwritten signature in black ink, appearing to read 'Jamie McGarvey'. The signature is stylized and fluid, with a long horizontal stroke extending to the right.

**Jamie McGarvey**

*President, AMO  
Mayor, Town of Parry Sound*

# Secretary-Treasurer's Report



I am pleased to provide you with my report on the 2021 financial status and some highlights of the Association from a corporate lens.

AMO continues to have a strong consistent membership base. In 2021, AMO had 420 municipal members – representing 95% of all municipalities.

Our membership is further strengthened by 39 organizations that are Partners, Associates, Districts, and Affiliates. We are pleased to have a working relationship with these unique members as we advance the interests of municipal government.

A copy of the audited financial statements for the year ending December 31, 2021 is included in this report. The Association continues to be in good financial shape. The main sources of revenue for the association are membership fees and the annual conference. AMO's Audit Committee meets three times a year with the auditors as part of the Association's accountability framework.

The Finance and Operations Centre is the backbone of the corporate operations including the financial management, reporting and risk management, as well as the management of its assets, information services, website management, information technology and data management. It provides a broad range of operational support, including information service and technology solutions; webinars and video meetings; and support to all AMO educational events, including the registration of over 1,500 participants in our virtual annual AMO conference.

AMO's own website had over 428,000 page views in 2021. Subscription to the weekly AMO Watchfile is currently at 7,800. Communicating with our members and keeping everyone up to date is just part of the value-added benefit of an AMO membership.

The work of the Finance and Operations Centre is important to the success of the Association and its related organizations - LAS, MEPCO and ONE.

A handwritten signature in black ink, appearing to read 'Gary Dyke', written over a large, light-colored circular graphic element.

**Gary Dyke**

*Secretary-Treasurer*

*CAO, Municipality of North Grenville*

## Message from the Executive Director



AMO played an important role in 2021, serving and supporting our members and the vitally important work you do to keep communities safe and to protect the services Ontarians rely on most.

Guided by the direction of an exceptional Board, we worked hard to keep members informed and to respond to your priorities. AMO engaged directly with the provincial and federal governments to ensure you had the financial resources needed to deliver and protect key services in your communities. Just as we had done in 2020, AMO fostered a culture of collaboration among all orders of government in response to a crisis that paid no heed to jurisdiction.

AMO's capacity to make these connections reflects many years of effective and productive government relations, and a remarkable network of municipal staff and members of council who share so generously of their time and knowledge to support the work we do.

We put the lessons learned from our innovative 2020 virtual conference to work again in 2021 to deliver a conference that brought the best of the sector to your doorstep. Your feedback was generous and overwhelmingly positive and made the effort more than worthwhile. AMO staff are truly grateful for your support.

We look forward to welcoming delegates in person in Ottawa for the 2022 AMO Conference.

I recognize the important responsibility AMO bears in shaping public policy, supporting members, and facilitating local innovation through a range of services and supports. These core objectives will continue to drive our efforts in the year ahead.

Thank you to our members for your support. I also want to thank the many extraordinary municipal public servants who work with the AMO staff to ensure our advocacy and member services reflect the best knowledge of your priorities, challenges, and aspirations.

A handwritten signature in black ink, appearing to read 'Brian Rosborough'. The signature is fluid and cursive, with a long horizontal stroke at the end.

**Brian Rosborough**

*Executive Director*

# Reports from AMO's Centres

## Enterprise Centre

**AMO's Enterprise Centre** works closely with LAS to build strategic relationships with partners where there is shared value – the partner succeeds in achieving business goals while AMO/LAS maximizes benefits to members.

Municipalities continue to look for ways to integrate digital technologies into their operations to create efficiencies. In 2021, the Enterprise Centre (EC) partnered with ClearRisk, provider of a cloud-based risk management information system that automates risk and claims data processing to better manage municipal risk. EC also started investigating a building permit software to reduce the administrative burden of municipal permits while accelerating property assessment functions of the building process.

EC and LAS began work on an Automated Speed Enforcement Service to help municipalities create safer communities. As a new partner, Conduent is working with LAS to create a scalable turn-key program for roll-out across the province. LAS continues to work closely with the provincial government to ensure program compliance with legislative requirements while incorporating Administrative Monetary Penalties – an alternate way to enforce and collect speed related fines.

In Q3 2021, the natural gas markets faced price increases as world supply became an issue. As a result, the cost of Electricity in Ontario was impacted. The LAS Electricity program provided protection for its members that translated into approximately 6% savings for participants. LAS continues to work with our Commodity partners to determine the best approach to provide members with price protection in these uncertain markets.

AMO continues to identify potential partners that offer cost-effective, proven, and appropriate technology and services to help members simplify municipal operations.

**Judy Dezell**, *Director*

## Finance and Operations Centre

**AMO's Finance and Operations Centre** is responsible for managing the Association's and AMO-related organizations' accounting, financial systems, risk management, information technology, human resources, website management, information systems, and data management. Information is disseminated to the AMO membership and the public-at-large using AMO and AMO-related websites and other electronic tools by leveraging our membership database and other tools.

We are excited to continue with our mandate to modernize, adapt, and innovate the AMO workforce and workplace. Further, we are starting with our phase two of our digitization strategy to increase data availability, information access/sharing, and security posture. We are also pleased that we have completed our work on website accessibility and our websites are fully accessible.

**Afshin Majidi**, *Director*

## Membership Centre

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**AMO's Membership Centre** supports the AMO membership through the development and delivery of events, education and training, and the management of the Canada Community-Building Fund (CCBF). The Membership Centre (MC) team also leads several AMO Board initiatives including promoting increased diversity on municipal councils.

In 2021 the MC modernized AMO's training offerings to include understanding and implementing human rights and equity in your municipality, navigating conflict relationships, advanced strategic land use planning, Indigenous Cultural Competency and more. The MC also undertook the redesign of its Head of Council and New Councillor training that will be available directly following the October 2022 municipal elections.

The MC supported the delivery of a successful virtual Conference, drawing approximately 1,500 participants and several hundred delegation meetings with provincial officials. AMO was pleased that it was able to continue the important annual meeting during the COVID-19 pandemic.

In 2021, AMO's CCBF team delivered more than \$1.3 billion to municipalities across Ontario on behalf of the federal government in support of addressing critical infrastructure projects. Since its launch in 2005, municipalities receiving Canada Community-Building funds through AMO have invested over \$8.0 billion from the Fund into over 10,000 local projects. The MC also delivers programming that helps the municipal sector make further progress in asset management and better inform councils in identifying infrastructure investment priorities.

**Petra Wolfbeiss**, *Director*

## Policy Centre

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**AMO's Policy Centre** conducts research, government relations, policy analysis, and advocacy to ensure that provincial policies and programs respect municipal authority.

2021 was extremely active for the policy team. All policy work was done with a continuing COVID-19 lens while the provincial government was looking to complete a large amount of policy implementation before the 2022 fiscal year. The confidential AMO – Ontario Memorandum of Understanding process was very engaged as AMO leadership advice was continually sought to inform a breadth of provincial decision making.

While supporting regular MOU meetings, we also continued our efforts on a full range of municipal-provincial policy issues with over twenty provincial ministries, including broadband, climate change, community paramedicine, conservation authority modernization, housing, indigenous relations, long-term care, planning, social assistance transformation, and the Blue Box transition to full producer responsibility. We supported the virtual 2021 AMO and ROMA conferences with topical concurrent sessions as well as the very popular Ministers' Forums.

Our policy analysis and advocacy work involve municipal volunteers from across the province in our task forces, technical working groups and through the many municipal sector networks and associations. This is vital to our policy activities so that our advocacy is aligned with municipal interests across all regions of the province.

**Monika Turner**, *Director*

# AMO Board of Directors

\* Indicates member of the AMO Executive Committee

## AMO Board of Directors

### Graydon Smith\*

AMO President  
(August 2020 – November 2021)  
Mayor, Town of Bracebridge

### Jamie McGarvey\*

AMO President  
(November 2021 – Present)  
Mayor, Town of Parry Sound

### Gary Dyke\*

Secretary-Treasurer  
CAO, Municipality of North Grenville

### Trevor Wilcox\*

Past Secretary-Treasurer  
General Manager, Corporate  
Performance, County of Simcoe

## Association Française des Municipalités de l'Ontario (AFMO)

### Roger Sigouin

Maire/Mayor,  
Ville de/Town of Hearst

## County Caucus

### Paul McQueen\*

Chair, County Caucus  
Deputy Warden, County of Grey  
Mayor, Municipality of Grey Highlands

### Justin Bromberg

Chief of Staff & Communications Manager,  
United Counties of Prescott & Russell

### George Cornell

Chair, WOWC  
Warden, Simcoe County  
Mayor, Township of Tiny

### Aina DeViet

Councillor, Middlesex County  
Mayor, Municipality of  
Middlesex Centre

### Gary McNamara

Warden, County of Essex  
Mayor, Town of Tecumseh

### Debbie Robinson

Chair, EOWC  
Warden, County of Renfrew, Reeve,  
Township of Laurentian Valley

## Large Urban Caucus

### Anna Hopkins\*

Chair, Large Urban Caucus  
Councillor, City of London

### Kevin Davis

Mayor, City of Brantford

### Dawn Dodge

Councillor, City of St. Catharines

### Cam Guthrie

Chair, OBCM  
Mayor, City of Guelph

### Marianne Meed Ward

Mayor, City of Burlington

### Bryan Paterson

Mayor, City of Kingston

### Dan Chapman

CAO, City of Kitchener

## Northern Caucus

### Wendy Landry\*

Chair, NW Caucus  
President, NOMA  
Mayor, Municipality of Shuniah (NW)

### Danny Whalen\*

Chair, NE Caucus  
FONOM President  
Councillor, City of Temiskaming Shores  
(NE)

### Rick Dumas

Mayor, Town of Marathon (NW)

### Doug Lawrance

Mayor, Municipality of Sioux Lookout (NW)

### Nicole Fortier Levesque

Maire/Mayor, Canton de/Township of  
Moonbeam (NE)

### Fred Mota

Mayor, Municipality of Red Lake

### Roger Sigouin

Maire/Mayor, Ville de/Town of Hearst (NE)

## Regional and Single-Tier Caucus

### Colin Best\*

Chair, Regional Caucus  
Councillor, Region of Halton

### Riley Brockington

Councillor, City of Ottawa

### Robert Foster

Councillor, Region of Niagara

### John Henry

Chair, Region of Durham

### Deb McIntosh

Councillor, City of Greater Sudbury

### Karen Redman

Chair, MARCO  
Chair, Region of Waterloo

### Paul Vicente

Councillor, Region of Peel

## Rural Caucus

### Robin Jones\*

Chair, Rural Caucus  
Chair, ROMA  
Mayor, Village of Westport

### Peter Emon

Reeve, Town of Renfrew

### Christa Lowry

Mayor, Municipality of Mississippi Mills

### Christine Robinson

Mayor, Municipality of West Grey

### Sandra Datars Bere

City Manager, City of St. Thomas

## Small Urban Caucus

### Lynn Dollin\*

Chair, Small Urban Caucus  
Mayor, Town of Innisfil

### Jo-Anne Albert

Mayor, Municipality of Tweed

### Bob Kwapis

Councillor, Town of Newmarket

### Hilda MacDonald

Mayor, Municipality of Leamington

### Rick Milne

Chair, OSUM  
Mayor, Town of New Tecumseth

### Michael Touw

CAO, Town of Perth

**Association of Municipalities of Ontario**  
**Financial Statements**  
For the year ended December 31, 2021

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Oakville ON L6H 6K8 Canada

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## Independent Auditor's Report

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### To the Directors of Association of Municipalities of Ontario

#### Opinion

We have audited the financial statements of Association of Municipalities of Ontario ("AMO"), which comprise the statement of financial position as at December 31, 2021, and the statements of operations, changes in net assets and cash flows for the year then ended, and notes to the financial statements, including a summary of significant accounting policies.

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of AMO as at December 31, 2021, and its results of operations and its cash flows for the year then ended in accordance with Canadian accounting standards for not-for-profit organizations.

#### Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the *Auditor's Responsibilities for the Audit of the Financial Statements* section of our report. We are independent of AMO in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

#### Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with Canadian accounting standards for not-for-profit organizations, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing AMO's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate AMO or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing AMO's financial reporting process.

#### Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these financial statements.

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### **Auditor's Responsibilities for the Audit of the Financial Statements (continued)**

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of AMO's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on AMO's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause AMO to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

*BDO Canada LLP*

Chartered Professional Accountants, Licensed Public Accountants  
Oakville, Ontario  
June 27, 2022

**Association of Municipalities of Ontario**  
**Statement of Financial Position**

**December 31** **2021** **2020**

**Assets**

**Current**

Cash	\$ 526,365	\$ 495,636
Accounts receivable (Notes 3 and 18)	1,077,446	1,958,130
Investments (Note 4)	19,889,273	16,486,697
Prepaid expenses	502,289	295,068
	<b>21,995,373</b>	19,235,531

Investment in LAS (Note 6(a))	100	100
Long-term investments (Note 5)	513,502	-
Property and equipment (Note 7)	66,843	77,372

**\$ 22,575,818** **\$ 19,313,003**

**Liabilities and Net Assets**

**Current**

Accounts payable and accrued liabilities (Note 9)	\$ 1,844,138	\$ 1,617,953
Deferred revenue	6,600	14,200
Deferred contributions - projects (Note 10)	1,530,109	2,317,811

**3,380,847** 3,949,964

**Deferred contributions - other**

**70,114** 215,730

**3,450,961** 4,165,694

**Net assets**

Restricted funds	8,895,270	7,484,907
General funds - unrestricted		
Investment in LAS	100	100
Other	9,351,356	7,662,302
Conference self-insurance reserve	707,515	-
Training reserve	170,616	-

**19,124,857** 15,147,309

**\$ 22,575,818** **\$ 19,313,003**

On behalf of the Board:

\_\_\_\_\_ Director

\_\_\_\_\_ Director

The accompanying notes are an integral part of these financial statements.

## Association of Municipalities of Ontario Statement of Operations

**For the year ended December 31**

**2021**      **2020**

	Canada Community- Building Fund	Other Restricted	Unrestricted	Total	Total
<b>Revenue</b>					
Membership fees	\$ -	\$ -	\$ 2,206,415	\$ 2,206,415	\$ 2,176,016
Conferences and seminars	-	-	1,209,581	1,209,581	910,935
Investment income	-	-	63,004	63,004	89,228
Administration and occupancy (Note 3)	-	-	5,102,310	5,102,310	4,976,106
Other Income	-	-	157,329	157,329	142,773
Funds received					
Canada Community-Building	1,325,314,730	-	-	1,325,314,730	647,931,647
Main Street revitalization (Note 10)	-	172,304	-	172,304	237,484
Municipal Asset Management Program	-	253,603	-	253,603	203,237
Community School Alliance (Note 10)	-	10,400	-	10,400	-
Continuous Improvement Fund Project (CIF) (Note 10)	-	354,875	-	354,875	383,434
Waste Diversion Project (Note 10)	-	325,235	-	325,235	349,670
Steward Obligation Project (Note 10)	-	60,688	-	60,688	188,810
Interest earned on funds received	308,549	4,142	-	312,691	160,821
Government subsidies (Note 17)	-	-	1,415,793	1,415,793	1,546,054
	<b>1,325,623,279</b>	<b>1,181,247</b>	<b>10,154,432</b>	<b>1,336,958,958</b>	<b>659,296,215</b>
<b>Expenditures</b>					
General - Administration	-	-	731,660	731,660	696,151
Policy - Administration	2,285,101	138,678	1,631,745	4,055,524	3,678,632
Corporate services - Administration	-	-	4,489,910	4,489,910	4,237,452
- Conference, seminars and membership centre	-	-	733,932	733,932	831,263
Funds distributed					
Canada Community-Building	1,321,927,815	-	-	1,321,927,815	644,691,987
Main Street revitalization	-	37,768	-	37,768	39,359
Municipal Asset Management Program	-	253,603	-	253,603	203,237
Community School Alliance (Note 10)	-	10,400	-	10,400	-
Continuous Improvement Fund Project (CIF) (Note 10)	-	354,875	-	354,875	383,434
Waste Diversion Project (Note 10)	-	325,235	-	325,235	349,670
Steward Obligation Project (Note 10)	-	60,688	-	60,688	188,810
	<b>1,324,212,916</b>	<b>1,181,247</b>	<b>7,587,247</b>	<b>1,332,981,410</b>	<b>655,299,995</b>
<b>Excess of revenue over expenditures</b>	<b>\$ 1,410,363</b>	<b>\$ -</b>	<b>\$ 2,567,185</b>	<b>\$ 3,977,548</b>	<b>\$ 3,996,220</b>

The accompanying notes are an integral part of these financial statements.

**Association of Municipalities of Ontario**  
**Statement of Changes in Net Assets**

**For the year ended December 31**

**2021**                      **2020**

	Restricted Fund	Unrestricted Funds	Conference Self-Insurance Reserve	Training Reserve	Total	Total
<b>Balance, beginning of year</b>	<b>\$ 7,484,907</b>	<b>\$ 7,662,402</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$15,147,309</b>	<b>\$ 11,151,089</b>
<b>Excess of revenue over expenditures for the year</b>	<b>1,410,363</b>	<b>2,567,185</b>	<b>-</b>	<b>-</b>	<b>3,977,548</b>	<b>3,996,220</b>
<b>Transfers (Note 2)</b>	<b>-</b>	<b>(878,131)</b>	<b>707,515</b>	<b>170,616</b>	<b>-</b>	<b>-</b>
<b>Balance, end of year</b>	<b>\$ 8,895,270</b>	<b>\$ 9,351,456</b>	<b>\$ 707,515</b>	<b>\$ 170,616</b>	<b>\$19,124,857</b>	<b>\$ 15,147,309</b>

The accompanying notes are an integral part of these financial statements.

## Association of Municipalities of Ontario Statement of Cash Flows

For the year ended December 31	2021	2020
<b>Cash provided by (used in)</b>		
<b>Operations</b>		
Excess of revenue over expenditures	\$ 3,977,548	\$ 3,996,220
Adjustment required to reconcile excess of revenue over expenditures with net cash provided by operating activities		
Amortization of property and equipment	31,142	45,912
Unrealized gain on investments	(13,502)	-
Changes in non-cash working capital balances		
Accounts receivable	880,684	(1,533,152)
Prepaid expenses	(207,221)	(45,080)
Accounts payable and accrued liabilities	226,185	867,354
Deferred revenue	(7,600)	13,600
Deferred contributions - projects	(787,702)	443,702
Deferred contributions - other	(145,616)	27,347
	<b>3,953,918</b>	<b>3,815,903</b>
<b>Investing activities</b>		
Purchase of property and equipment	(20,613)	(31,950)
Purchase of investments	(3,402,576)	(3,599,276)
Purchase of long-term investments	(500,000)	-
	<b>(3,923,189)</b>	<b>(3,631,226)</b>
<b>Increase in cash during the year</b>	<b>30,729</b>	<b>184,677</b>
<b>Cash, beginning of year</b>	<b>495,636</b>	<b>310,959</b>
<b>Cash, end of year</b>	<b>\$ 526,365</b>	<b>\$ 495,636</b>

The accompanying notes are an integral part of these financial statements.

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# Association of Municipalities of Ontario

## Notes to Financial Statements

December 31, 2021

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### 1. Basis of Presentation

Association of Municipalities of Ontario ("AMO") is a not-for-profit organization incorporated, without share capital, under Letters Patent on May 11, 1990 under the Corporations Act (Ontario). The mandate of AMO is to promote, support and enhance strong and effective municipal government in Ontario.

As a not-for-profit organization, AMO is exempt from income taxes provided certain requirements of the Income Tax Act (Canada) are met.

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### 2. Significant Accounting Policies

These financial statements have been prepared in accordance with Canadian accounting standards for not-for-profit organizations. Accounting standards for not-for-profit organizations require entities to select policies appropriate for their circumstances from choices provided in the specific standards. The following are details of the choices selected by AMO and applied in these financial statements.

#### Funds

The Restricted fund represents the Canada Community-Building Fund which has specific external restrictions placed on its use by the funder.

The General funds account for AMO's operations and reports unrestricted and externally restricted resources without a specific fund that are not included in the Restricted funds.

The Conference Self-Insurance Reserve was set up to maintain an annual AMO conference self-insurance reserve at 80% of the AMO conference annual costs. The reserve will be adjusted annually based on the budget for the year. The Board approved a transfer of \$707,515 from General funds - Unrestricted to the Conference Self-Insurance Reserve Fund.

The Training Reserve covers the cost of the development of in-person and online/virtual courses. The Board approved a transfer of \$170,616 from General funds - Unrestricted to the Training Reserve.

#### Use of Estimates

The preparation of financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenditures during the year. Actual results could differ from those estimates.

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# Association of Municipalities of Ontario

## Notes to Financial Statements

**December 31, 2021**

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### 2. Significant Accounting Policies (continued)

#### Investment in Subsidiaries

Local Authority Services ("LAS") is a wholly owned subsidiary of AMO. The investment in LAS is stated at cost. A financial summary of LAS is presented and disclosed in Note 6(a).

Municipal Employer Pension Centre of Ontario ("MEPCO") is controlled by AMO. A financial summary of MEPCO is presented and disclosed in Note 6(b).

#### Financial Instruments

Financial instruments are recorded at fair value when acquired or issued. In subsequent periods, financial instruments are reported at cost or amortized cost less impairment, except long-term investments, which are measured at fair value. Financial assets are tested for impairment when changes in circumstances indicate the asset could be impaired. Transaction costs incurred on the acquisition, sale or issue of financial instruments are expensed for those items remeasured at fair value at each statement of financial position date and charged to the financial instrument for those measured at amortized cost.

#### Revenue Recognition

AMO follows the restricted fund method for all externally restricted contributions. Under the restricted fund method, externally restricted contributions of the restricted funds are recognized as revenue in the year of receipt. Externally restricted contributions of the general funds are deferred until the year in which the related expenses are incurred.

Unrestricted contributions are recognized as revenue when the amount is reasonably estimated and collection is reasonably assured.

Membership and administration and occupancy fees are recognized as revenue in the period to which the fees relate.

Conferences and seminar revenue is recognized in the period in which the event occurs, or the service is provided.

Fees received in advance of the period to which they relate are recorded as deferred revenue in the statement of financial position.

Investment income is recognized as revenue in the period it is earned. Realized and unrealized gains and losses on long-term investments are included in investment income in the period they arise.

Government subsidies are recorded as revenue in the year in which the related expenditures are incurred.

#### Property and Equipment

Property and equipment are recorded at cost less accumulated amortization. Amortization is provided on a straight-line basis over the assets' estimated useful lives as follows:

Computer hardware	-	4 years straight-line
Furniture and fixtures	-	5 years straight-line

# Association of Municipalities of Ontario

## Notes to Financial Statements

**December 31, 2021**

### 2. Significant Accounting Policies (continued)

#### Pension

AMO makes contributions on behalf of its employees to Ontario Municipal Employees Retirement System ("OMERS"), which is a multi-employer pension plan. The Plan is a defined benefit plan which specifies the amount of retirement benefit to be received by the employees based on the length of service and rates of pay. As the amount AMO is obligated to contribute under the Plan is not quantifiable, the accounting, presentation and disclosures that would otherwise be required are not determinable. Due to this fact, AMO follows the standards for a defined contribution plan, the details of which are disclosed in Note 14. The amounts contributed are expensed.

### 3. Related Party Transactions

Included in accounts receivable are amounts due from related parties as follows:

	2021	2020
LAS	\$ 334,644	\$ 189,073
MEPCO	20,891	29,004
ROMA	3,787	-

These amounts are unsecured, repayable on demand and are non-interest bearing.

Included in administration and occupancy fees are administration and occupancy fees charged to:

	2021	2020
LAS	\$ 866,106	\$ 849,714
MEPCO	466,704	466,744
ROMA	119,999	104,461

These transactions are measured at the exchange amount, which is the amount of consideration established and agreed to by the related parties.

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## Association of Municipalities of Ontario Notes to Financial Statements

**December 31, 2021**

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### 4. Investments

	2021	2020
One Investment High Interest Savings Account (HISA) bearing interest at bank prime rate less 1.735% (2020 - bank prime rate less 1.535%).	<b>\$ 19,889,273</b>	\$ 16,486,697

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### 5. Long-Term Investments

AMO holds long-term investments in the following pooled funds:

	2021	2020
ONE Canadian Equity Portfolio	\$ 314,316	\$ -
ONE Canadian Corporate Bond Portfolio	99,731	-
ONE Canadian Government Bond Portfolio	<b>99,455</b>	-
	<b>\$ 513,502</b>	\$ -

# Association of Municipalities of Ontario

## Notes to Financial Statements

**December 31, 2021**

### 6. Subsidiaries

#### (a) Local Authority Services ("LAS")

LAS is a wholly owned subsidiary of AMO. The mandate of LAS is to work with municipalities, their agencies, boards and commissions, as well as other organizations of Ontario's broader public sector to assist them in reducing their expenditures and to increase their levels of non-tax revenues through the principle of joint or cooperative procurement efforts.

LAS has not been consolidated in AMO's financial statements. Financial statements of LAS are available on request. The previous year's financial results were reclassified in accordance with the method of presentation adopted in the current year. A financial summary of LAS as at December 31, 2021 and 2020 and for the years then ended is as follows:

	<b>2021</b>	2020
Financial position		
Total assets	<b>\$ 14,405,317</b>	\$ 12,889,758
Total liabilities	<b>8,498,348</b>	7,312,692
Net assets	<b>\$ 5,906,969</b>	\$ 5,577,066
Results of operations		
Total revenue	<b>\$ 10,733,877</b>	\$ 7,287,785
Total expenditures	<b>10,403,975</b>	6,782,020
Excess of revenue over expenditures	<b>\$ 329,902</b>	\$ 505,765
Cash provided by (used in)		
Operating activities	<b>\$ 1,011,897</b>	\$ 254,598
Investing activities	<b>(479,235)</b>	12,864
Net change in cash	<b>\$ 532,662</b>	\$ 267,462

## Association of Municipalities of Ontario Notes to Financial Statements

**December 31, 2021**

### 6. Subsidiaries (continued)

#### (b) Municipal Employer Pension Centre Ontario ("MEPCO")

AMO is the only member of MEPCO. The mandate of MEPCO is to fulfill the obligations of the Association and others under the Ontario Municipal Employees Retirement Systems Act, 2006.

MEPCO has not been consolidated in AMO's financial statements. Financial statements of MEPCO are available on request. A financial summary of MEPCO as at December 31, 2021 and 2020 and for the years then ended is as follows:

	<b>2021</b>	<b>2020</b>
Financial position		
Total assets	\$ 1,001,932	\$ 970,111
Total liabilities	45,097	43,146
	<b>\$ 956,835</b>	<b>\$ 926,965</b>
Net assets		
Net assets comprise:		
Internally restricted	\$ 767,441	\$ 767,441
Unrestricted	189,394	159,524
	<b>\$ 956,835</b>	<b>\$ 926,965</b>
Results of operations		
Total revenue	\$ 646,626	\$ 643,957
Total expenditures	616,756	602,560
	<b>\$ 29,870</b>	<b>\$ 41,397</b>
Excess of revenue over expenditures		
Cash provided by (used in)		
Operating activities	\$ 24,275	\$ 25,315
Investing activity	19,515	(40,182)
	<b>\$ 43,790</b>	<b>\$ (14,867)</b>
Net change in cash		

## Association of Municipalities of Ontario Notes to Financial Statements

**December 31, 2021**

### 7. Property and Equipment

	2021		2020	
	Cost	Accumulated Amortization	Cost	Accumulated Amortization
Computer hardware	\$ 1,373,008	\$ 1,313,466	\$ 1,352,395	\$ 1,287,487
Furniture and fixtures	66,336	59,035	66,336	53,872
	<b>\$ 1,439,344</b>	<b>\$ 1,372,501</b>	<b>\$ 1,418,731</b>	<b>\$ 1,341,359</b>
Net book value		<b>\$ 66,843</b>		<b>\$ 77,372</b>

### 8. Affiliate

#### Rural Ontario Municipal Association ("ROMA")

A number of AMO's Board members serve on ROMA's Board of Directors. ROMA brings the rural perspective to the policy work of AMO, focusing on matters which affect rural communities so that they are brought to the attention of provincial and federal governments.

ROMA has not been consolidated in AMO's financial statements. Financial statements of ROMA are available on request. A financial summary of ROMA as at December 31, 2021 and 2020 and for the years then ended is as follows:

	2021	2020
Financial position		
Total assets	\$ 980,493	\$ 1,061,320
Total liabilities	279,205	317,987
Net assets	<b>\$ 701,288</b>	<b>\$ 743,333</b>
Results of operations		
Total revenue	\$ 447,386	\$ 959,412
Total expenditures	489,431	772,043
Excess (deficiency) of revenue over expenditures	<b>(42,045)</b>	<b>\$ 187,369</b>
Cash provided by (used in)		
Operating activities	\$ (57,260)	\$ (162,082)
Investing activity	20,990	197,567
Net change in cash	<b>\$ (36,270)</b>	<b>\$ 35,485</b>

## Association of Municipalities of Ontario Notes to Financial Statements

**December 31, 2021**

### 9. Accounts Payable and Accrued Liabilities

Included in accounts payable and accrued liabilities are amounts payable to the government of \$877,345 (2020 - \$890,834).

### 10. Deferred Contributions - Projects

Deferred contributions – projects are amounts received from parties to carry out specific projects. Funds are recognized as revenue in the period in which the related expenses are incurred. If amounts are not expended, amounts may be refundable.

	Balance beginning of year	Received /reallocated in the year	Disbursed and recognized in the year	<b>Balance end of year</b>
Community School Alliance Continuous Improvement Fund project (CIF)	\$ 37,064	\$ 10,932	\$ 10,400	<b>\$ 37,596</b>
Waste Diversion Project	277,331	122,330	354,875	<b>44,786</b>
Waste Diversion Project Wind-up	638,644	-	325,235	<b>313,409</b>
Steward Obligation Project	200,000	-	-	<b>200,000</b>
Main Street Revitalization Fund Project	192,369	-	60,688	<b>131,681</b>
	972,403	2,538	172,304	<b>802,637</b>
<b>2021</b>	<b>\$ 2,317,811</b>	<b>\$ 135,800</b>	<b>\$ 923,502</b>	<b>\$ 1,530,109</b>
2020	\$ 1,874,109	\$ 1,603,100	\$ 1,159,398	\$ 2,317,811

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# Association of Municipalities of Ontario

## Notes to Financial Statements

**December 31, 2021**

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### 11. Restricted Funds

#### Canada Community-Building Fund (formerly Federal Gas Tax Program)

On June 17, 2005, the Government of Canada, the Province of Ontario, AMO and the City of Toronto signed an agreement setting out new revenue sharing arrangements for federal gas tax revenues for investment in municipal infrastructure. AMO administers the fund on behalf of the federal government for all municipalities except Toronto. The agreement resulted in funds of \$1.453 billion flowing to municipalities from 2005 to 2010. Under the Agreement, AMO received 1% of the amounts received and distributed to administer the funds. In 2009, the agreement was extended with an additional \$2.361 billion of funds flowing to municipalities over the period 2010-2014. As part of the extended agreement, the administration fee was reduced to 0.5% to better reflect the related costs.

In 2014, the program was made permanent using a ten-year agreement model with a midterm review. \$3.849 billion flowed to municipalities in Ontario for 2014-2018 based on 2011 population data with AMO continuing to receive 0.5% of the amounts it received to administer the funds. In 2014, the AMO Board of Directors decided to establish a restricted reserve to hold \$5 million for wind up of the program and to distribute the balance of \$15,692,043 in surplus administration funds accumulated on a per capita basis to all municipalities AMO administers funds. In 2018, allocations of \$4.231 billion for 2019-2023 were confirmed to flow to Ontario municipalities based on 2016 population data.

In 2019, there was a one-time doubling of funds by the Government of Canada. Also in 2019, AMO distributed \$12,044,284 in surplus administration fees according to the established allocation model.

In 2021, there was another one-time doubling of the funds. As with the prior top-up, AMO did not take an administration fee. Also, in 2021 the program name was changed from Federal Gas Tax to the Canada Community-Building Fund. This was done to reflect the program's evolution over time and the fact that funds do not come directly from federal gas tax revenues.

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### 12. Capital Disclosures

The capital structure of AMO consists of restricted and unrestricted net assets. The unrestricted funds include a provision for a six month allowance should it become necessary to wind up the Association. The Association manages its capital and makes adjustments to it in light of economic conditions and the risk characteristics of the underlying assets.

AMO's main objective when managing capital is to safeguard its ability to continue as a going concern, so that it can continue to provide the appropriate level of services to the municipalities of Ontario. AMO is subject to externally imposed capital requirements for the Canada Community-Building and Main Street revitalization programs and the restricted funds included in the General funds. These funds are invested and administered according to these requirements.

## Association of Municipalities of Ontario Notes to Financial Statements

**December 31, 2021**

### 13. Pension Plan

During 2021, AMO contributed \$590,823 (2020 - \$545,909) to OMERS. Of the amount contributed, \$149,528 (2020 - \$124,439) related to employees who worked for AMO's subsidiary, LAS.

### 14. Allocation of Expenses

Salaries and benefits are allocated based on the percentage of time spent by staff for each program. Expenses such as rent and information technology costs are allocated based on the percentage of the work performed for each program.

Expenses allocated to various funds were as follows:

	<b>2021</b>				
	Canada Community- Building program	Main Street revitalization	CIF	Municipal Asset Management Program	Waste Diversion Project
Salaries and benefits	\$ 1,124,765	\$ 136,503	\$ 344,166	\$ 151,103	\$ 161,905
Administration expenses	<u>257,307</u>	<u>2,083</u>	-	-	-
	<b>\$ 1,382,072</b>	<b>\$ 138,586</b>	<b>\$ 344,166</b>	<b>\$ 151,103</b>	<b>\$ 161,905</b>
	<b>2020</b>				
	Canada Community- Building program	Main Street revitalization	CIF	Municipal Asset Management Program	Waste Diversion Project
Salaries and benefits	\$ 1,099,266	\$ 197,755	\$ 362,822	\$ 125,870	\$ 215,446
Administration expenses	<u>239,156</u>	<u>14,028</u>	-	-	-
	<b>\$ 1,338,422</b>	<b>\$ 211,783</b>	<b>\$ 362,822</b>	<b>\$ 125,870</b>	<b>\$ 215,446</b>

### 15. Commitments

Minimum annual payments payable under the terms of operating leases for office space for the next two years are as follows:

2022	\$ 270,082
2023	<u>236,082</u>
	<b>\$ 506,164</b>

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# Association of Municipalities of Ontario

## Notes to Financial Statements

**December 31, 2021**

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### 16. Financial Instruments Risks

#### Interest rate risk

Interest rate risk is the risk that the fair value or future cash flows from a financial instrument will fluctuate because of market changes in interest rates. AMO is exposed to interest rate risk on its investments.

#### Liquidity risk

Liquidity risk is the risk that AMO will encounter difficulty in meeting the obligations associated with its financial liabilities. AMO is exposed to this risk mainly in respect of its accounts payable and accrued liabilities. AMO reduces exposure to liquidity risk by ensuring that it maintains adequate cash reserves to pay its creditors.

#### Credit risk

Credit risk is the risk that one party to a financial instrument will cause a financial loss for the other party by failing to discharge an obligation. AMO's main credit risks relate to its accounts receivable and investments. Based on creditworthiness of AMO's counter parties, no allowance for doubtful accounts is required.

It is management's opinion that AMO is not exposed to significant interest rate, liquidity or credit risk arising from its financial instruments.

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### 17. COVID-19

On March 11, 2020, the World Health Organization declared the COVID-19 outbreak as a pandemic, based on the rapid increase in exposure globally.

Due to COVID-19, AMO held its annual conference virtually. AMO applied for the Canada Emergency Wage Subsidy ("CEWS") in the amount of \$1,214,638 (2020 - \$1,467,239) and Canada Emergency Rent Subsidy ("CERS") in the amount of \$201,155 (2020 - \$78,815) from the Government of Canada, all recorded in government subsidies revenue at year end, with \$501,466 (2020 - \$1,546,054) in accounts receivable.

There could be further impacts on AMO from COVID-19 that could affect the timing and amounts recognized in AMO's financial results. The full potential impact of the ongoing pandemic on AMO is not known at this time.

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### 18. Comparative Figures

Certain comparative figures have been reclassified to conform with the financial statement presentation adopted in the current year.



**Association of Municipalities of Ontario (AMO)**

200 University Ave., Suite 801, Toronto, ON M5H 3C6

Telephone direct: 416-971-9856

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Toll-free in Ontario: 1-877-4-AMO-LAS (1-877-426-6527)

E-mail: [amo@amo.on.ca](mailto:amo@amo.on.ca)

Websites: [www.amo.on.ca](http://www.amo.on.ca)

August 10, 2022

Honourable Steve Clark  
Minister of Municipal Affairs and Housing  
777 Bay St 17th Floor  
Toronto, ON M5G 2C8

Dear Minister,

Our Association and our members watched with great interest your introduction of Bill 3, *Strong Mayors, Building Homes Act*, today in the Ontario Legislature.

As an organization that represents over 2,000 municipal staff including many Chief Administrative Officers (CAOs) and senior municipal leaders, our members are proud of the work they do for their councils and communities. CAOs and senior management provide professional management, leadership and non-partisan advice to municipal councils.

The changes proposed in Bill 3 run the significant risk of threatening the neutrality of the municipal public service and politicizing local government leadership. We are concerned with portions of the Bill, such as the mayoral powers to hire the CAO/certain department heads and restructure municipal departments. The Bill does little to enhance municipal accountability, with no evidence to even suggest that these proposed changes will help achieve the goals your government has provided as rationale for this legislation.

We would like to take this opportunity to remind you that AMCTO has long held the position that there remain opportunities to strengthen municipal administration through clarifying the roles and responsibilities between council and staff, and in particular the role of the CAO. What has been proposed in Bill 3 will do the very opposite, further blurring the lines between political and administrative responsibilities.

The November 2022 implementation of changes proposed by Bill 3 will cause additional administrative burden for municipalities, an issue of great importance to AMCTO and our members. While this burden will be experienced in many areas of the cities, it will be most pressing for those responsible for holding the municipal elections in October.

While the legislative solutions proposed in Bill 3 are concerning, what we believe is most disappointing is that no effort was made to consult associations like AMCTO when the interests and integrity of municipal professionals in large centres like Toronto and Ottawa is clearly being affected.



AMCTO would have welcomed the opportunity to lend our expertise and that of our members to a constructive dialogue to meet your government's objectives. As an Association whose mission is to support and strengthen the knowledge, skills and capabilities of municipal professionals, and in the spirit of collaboration, we want to discuss better legislative solutions.

We look forward to your response and will be following Bill 3 through the legislative process, continuing to strongly represent and communicate the interests of our members where appropriate.

Sincerely,

Elana Arthurs, CMO, AOMC  
President, AMCTO

CC: Hon. Doug Ford, Premier of Ontario  
Michelle Di Emmanuele, Secretary of Cabinet, Head of the Ontario Public Service  
Kate Manson-Smith, Deputy Minister, MMAH  
Brian Rosborough, Executive Director, AMO

Hawkesbury

Aux organismes communautaires de Prescott-Russell



**Objet : Participation à la Journée internationale de la Fille 2022**

Chers partenaires,

Comme vous le savez peut-être, la Journée internationale de la fille (JIF) est célébrée partout dans le monde le 11 octobre de chaque année. Comme par le passé, la région de Prescott-Russell souhaite mettre en lumière cette journée spéciale qui vise à mettre l'accent sur la nécessité de relever les défis auxquels sont confrontées les filles et de promouvoir l'*empowerment* des filles et le respect de leurs droits humains.

Le 11 octobre prochain, le comité organisateur de la JIF 2022 mettra donc sur pied une soirée à laquelle les filles de 11 à 17 ans seront conviées. Lors de celle-ci, elles auront accès à des ateliers touchant la créativité, le bien-être et l'*empowerment*. Les parents présents auront quant à eux accès à des conférences portant sur la sécurité numérique chez les jeunes, la traite des personnes et la santé mentale.

**Votre participation**

Lors de cette soirée, nous aimerions offrir la possibilité aux organismes communautaires qui le souhaitent de tenir kiosque durant l'événement afin de pouvoir transmettre de l'information tant aux filles qu'à leurs parents. **Aucune contribution financière** n'est nécessaire afin de prendre part à la soirée. Toutefois, il serait fantastique si chaque organisme participant pouvait offrir **50 petits cadeaux** qui seront inclus dans les sacs-cadeaux remis aux filles ayant pris part à la soirée (nous comptons préparer 50 sacs). Crème à main, baume à lèvres, produit promotionnel de votre organisme... Toutes les contributions seront les bienvenues dans le but d'offrir des sacs bien garnis!

**Quand : 11 octobre**

**Heure : de 18 h à 21 h**

**Endroit : À CONFIRMER**, probablement l'École secondaire catholique de Hawkesbury

**Matériel fourni : À CONFIRMER** selon le lieu

Nous vous remercions à l'avance de contribuer à cette journée si importante. Afin de confirmer votre intention de participer ou non à cet événement, communiquez avec :

**Marie-Pierre D'Anjou**

Responsable des communications et du développement communautaire

Maison Interlude House

Courriel : [madanjou@minterludeh.ca](mailto:madanjou@minterludeh.ca)

Cellulaire : 613.677.6043

Sincères salutations,

*Le Comité organisateur de la JIF Prescott-Russell 2022*

## Aimée Roy

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**From:** EEP Ontario / SAR Ontario (ECCC) <SpeciesatRisk.Ontario@ec.gc.ca>  
**Sent:** Tuesday, August 9, 2022 12:26 PM  
**To:** EEP Ontario / SAR Ontario (ECCC)  
**Subject:** Environment and Climate Change Canada Recovery Planning Documents on the Species at Risk Public Registry / Documents de planification du rétablissement d'Environnement et Changement climatique Canada dans le Registre public des espèces en péril

*(La version française suit)*

On August 9, 2022, Environment and Climate Change Canada posted the following recovery planning documents on the Species at Risk (SAR) Public Registry:

The following documents are now posted as proposed on the Public Registry and are open for a 60-day comment period:

- **Recovery Strategy for the Bobolink (*Dolichonyx oryzivorus*) in Canada [Proposed version]**
- **Recovery Strategy for the Eastern Meadowlark (*Sturnella magna*) in Canada [Proposed version]**
  - [Proposed recovery strategies for the Bobolink \(\*Dolichonyx oryzivorus\*\) and Eastern Meadowlark \(\*Sturnella magna\*\) in Canada - Canada.ca](https://www.canada.ca/en/environment-climate-change/services/species-risk-public-registry.html)

For more information on the *Species at Risk Act*, recovery planning documents and species at risk, please visit the *SAR Public Registry* at: <https://www.canada.ca/en/environment-climate-change/services/species-risk-public-registry.html>.

If you have any comments or questions about the recovery planning documents, please contact the Consultation Biologist at:

Canadian Wildlife Service - Ontario  
Environment and Climate Change Canada  
4905 Dufferin Street  
Toronto, ON M3H 5T4  
E-mail: [SpeciesAtRisk.Ontario@ec.gc.ca](mailto:SpeciesAtRisk.Ontario@ec.gc.ca)

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*This email message has been sent with the purpose of sharing information about proposed amendments to Schedule 1 of the Species at Risk Act and/or recovery document postings (including the public comment periods) on the Species at Risk Public Registry: <https://www.canada.ca/en/environment-climate-change/services/species-risk-public-registry.html>*

*For more information, or if this message was forwarded to you and you would like to be added to this email list, or if you do not wish to be included in future messages, please email [SpeciesAtRisk.Ontario@ec.gc.ca](mailto:SpeciesAtRisk.Ontario@ec.gc.ca) directly with 'add to (or remove from) list' in the subject line.*

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Le 9 août 2022, Environnement et Changement climatique Canada a affiché les documents de planification du rétablissement suivant dans le Registre public des espèces en péril.

La version proposée des documents suivant est maintenant affichée dans le Registre public. Les documents suivant fera l'objet d'une période de commentaires de 60 jours:

- **Programme de rétablissement du Goglu des prés (*Dolichonyx oryzivorus*) au Canada [Proposition]**
- **Programme de rétablissement de la Sturnelle des prés (*Sturnella magna*) au Canada [Proposition]**
  - [Programmes de rétablissement proposés pour le Goglu des prés \(\*Dolichonyx oryzivorus\*\) et la Sturnelle des prés \(\*Sturnella magna\*\) au Canada - Canada.ca](https://www.canada.ca/fr/environnement-changement-climatique/services/registre-public-especes-peril.html)

Pour plus de renseignements sur la *Loi sur les espèces en péril (LEP)*, les programmes de rétablissement et les espèces en péril, veuillez consulter le site *Web du Registre public des espèces en péril* à l'adresse suivante : <https://www.canada.ca/fr/environnement-changement-climatique/services/registre-public-especes-peril.html>.

Si vous avez des commentaires ou des questions au sujet des documents de planification du rétablissement, veuillez communiquer avec le Biologiste de consultation dont les coordonnées sont les suivantes:

Service canadien de la faune – Région de l'Ontario  
Environnement et Changement climatique Canada  
4905, rue Dufferin  
Toronto (Ontario) M3H 5T4  
Courriel : [SpeciesAtRisk.Ontario@ec.gc.ca](mailto:SpeciesAtRisk.Ontario@ec.gc.ca)

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*Ce courriel a été envoyé dans le but de partager des renseignements sur des propositions d'amendements à l'Annexe 1 de la Loi sur les espèces en péril (LEP) et les mises à jour relatives aux programmes de rétablissement (y compris les périodes de consultation publique) concernant le Registre public des espèces en péril : <https://www.canada.ca/fr/environnement-changement-climatique/services/registre-public-especes-peril.html>*

*Pour obtenir plus de renseignements, ou si ce message vous a été transféré et que vous souhaitez vous inscrire à la présente liste de diffusion, ou si vous ne souhaitez plus recevoir de messages à l'avenir, envoyez un courriel à l'adresse [SpeciesAtRisk.Ontario@ec.gc.ca](mailto:SpeciesAtRisk.Ontario@ec.gc.ca) en indiquant à la mention en objet « Ajouter à la liste » ou « Supprimer de la liste ».*



**Service des incendies Hawkesbury**  
780, avenue Spence Avenue, Hawkesbury, Ontario K6A 3H9  
Tél.: (613) 632-1105  
Bureau du chef  
nbeauchamp@hawkesbury.ca

Le 11 août 2022

Richard Groulx  
Chef  
Service des incendies – La Nation  
958, route 500 West  
Casselman, Ontario  
K0A 1M0

Objet : Incendie majeur, 6 août 2022 à Hawkesbury

Chef Groulx,

Le 6 août dernier, en pleines vacances estivales alors que plusieurs étaient en vacances, nous vous avons demandé de nous envoyer du personnel pour combattre un incendie majeur dans notre ville.

Par cet écrit, je désire vous faire part de notre appréciation envers votre service, et votre personnel pour l'intervention du 6 août. Aucun pompier n'a été blessé ni aucune situation dangereuse n'a été relevée. Tous ont effectué un excellent travail en offrant professionnalisme et compétence.

Très peu d'intervention nécessite un tel déploiement de ressources. La gestion d'un incendie nécessitant un tel déploiement nécessite la collaboration de tous. Nous avons noté une excellente collaboration de vos membres.

Dans un tel contexte, nous vous remercions pour votre collaboration. Veuillez adresser nos remerciements à vos pompiers qui ont été impliqués dans l'intervention. Nous en sommes reconnaissants.

Salutations,

Normand Beauchamp, MBA, ECFO, CMMIII  
Chef



Et que reprennent les activités !

**Infolettre - Août 2022**



## La grande rentrée

### LFPR !

Eh oui, déjà l'été tire à sa fin et les enfants reprendront prochainement le chemin de l'école. Ce qui veut dire que les grands projets reprendront sous peu ! Mais pour certaines d'entre-nous, le *blues* post vacances se fait sentir et le retour en scelle peut être difficile... On vous comprend, nous avons toutes déjà vécu ce sentiment.

Mais chez LFPR, nous devons avouer que nous sommes impatientes de vous dévoiler ce que nous vous avons préparé pour l'automne ! Je vous invite tout de suite à noter deux dates importantes à votre agenda : le **13 septembre** et le **3 octobre**. Vous trouverez plus de détails sur ces deux dates dans cette infolettre. Et vous verrez que notre équipe n'a pas chômé cet été !

Sur ce, bonne lecture et bonne rentrée !

- Marie-Noëlle Lanthier, présidente de LFPR

## NOUVELLES ET ACTUALITÉS

### **LFPR organise le tout premier symposium sur le leadership féminin et les barrières systémiques dans Prescott-Russell**

Notez bien la date du 3 octobre prochain à votre agenda. Comme on le dit en anglais : **Save the date** ! Plus de détails sur la programmation de la journée et la façon de s'inscrire à l'événement suivront dans les semaines à venir. On a tellement hâte de vous en dire plus !!!!!



## Concerté.e.s pour l'égalité

**3** OCTOBRE 2022  
Le tout premier  
*Symposium*

sur le leadership féminin et les barrières systémiques à l'égalité des genres dans Prescott-Russell.

**Conférences inspirantes, panel de discussion, réseautage et plus!**

8 h 30 à 18 h 30  
RiverRock Inn, Rockland

leadershipfemininpr.ca

## Notre AGA arrive à grands pas !

Le 13 septembre, dès 19h, sur Zoom, se tiendra notre AGA. Pour vous inscrire, c'est par ici :

[JE M'INSCRIS](#)

Et n'oubliez pas... Pour pouvoir voter, vous devez être membre de notre organisme. Pour devenir membre ou renouveler votre adhésion, c'est par ici :

[DEVENIR MEMBRE](#)

Au plaisir de se revoir bientôt !

# Assemblée générale annuelle

**13 SEPTEMBRE**  
**19 H**  
**SUR ZOOM**

Inscrivez-vous  
sur Zoom  
et n'oubliez pas de  
renouveler  
votre **adhésion** sur  
notre site web.



[leadershipfemininpr.ca](http://leadershipfemininpr.ca)

## En octobre 2022, visons la parité !

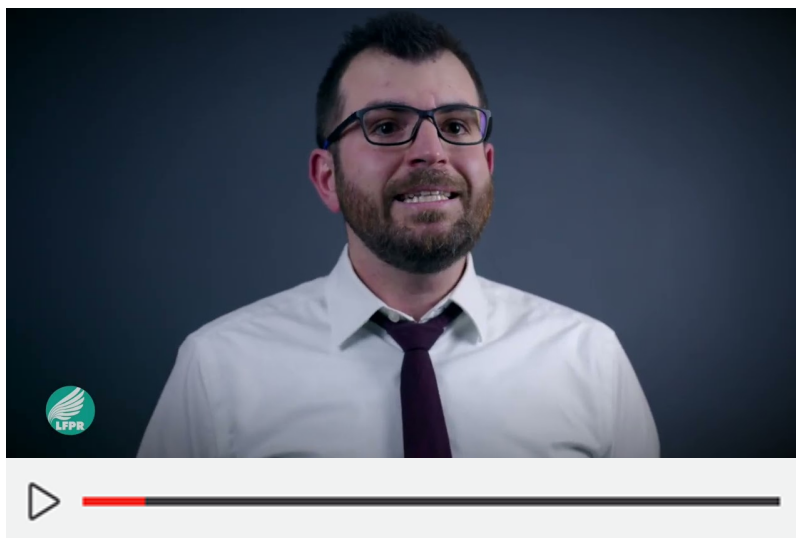
À l'heure actuelle, dans Prescott-Russell, en vue des élections municipales d'octobre prochain, **20 femmes** ont déclaré leur intention de se porter candidate... Contre **57 hommes**. Elles représentent donc seulement **26%** de l'ensemble des candidats aux élections.

Si d'autres femmes se portent candidates, nous pourrions nous rapprocher de la zone paritaire (entre 40% et 60%). Toutefois, le temps presse!!! Mesdames, vous avez jusqu'au **19 août, à 14h**, pour déclarer votre candidature.

La voix des femmes a sa place autour des tables décisionnelles de notre région!



## Voici quelques raisons qui démontrent l'importance de la parité en politique municipale



## Exercez votre leadership au sein d'un CA !

En plus de viser la parité dans la sphère politique, LFPR souhaite aussi atteindre le même objectif dans les différents conseils d'administration de notre région.

Pour ce faire, notre organisme a créé une plateforme permettant de mettre en relation des organisations de Prescott-Russell et des femmes dynamiques désireuses de faire la différence dans notre communauté.

Pour s'inscrire, c'est tout simple! Que vous soyez un organisme ou une candidate potentielle pour siéger sur un CA, vous n'avez qu'à vous rendre sur [www.toutesenfaveur.com](http://www.toutesenfaveur.com) et créer votre profil.

**GOUVERNANCE AU FEMININ**  
*Toutes en faveur!*

À la recherche d'un nouveau **défi professionnel** ?

**DEVENEZ MEMBRE D'UN CONSEIL D'ADMINISTRATION**

Inscrivez-vous à la nouvelle plateforme  
[ToutesEnFaveur.com](http://ToutesEnFaveur.com)

**LFPR**

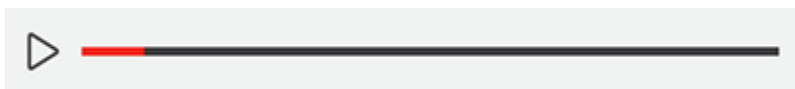
**TOUTESENFAVEUR.COM**

Lorsque des organismes cherchent à recruter des membres pour leurs CA, ils ont accès à votre profil et vice-versa. De cette façon, nous réussirons à augmenter la participation des femmes aux tables décisionnelles très rapidement !

[JE M'INSCRIS](#)

## Voilà pourquoi Geneviève Thomas s'implique au sein d'un CA





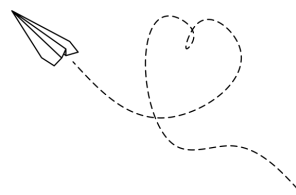
## Des nouvelles de vous !

Vous êtes fière de l'une de vos réalisations ? Vous aimeriez reconnaître l'apport d'une femme impliquée dans notre communauté ?

Faites-nous-en part et il nous fera plaisir de partager la bonne nouvelle sur nos réseaux sociaux.

Écrivez-nous à : [leadershipfemininpr@gmail.com](mailto:leadershipfemininpr@gmail.com).  
Au plaisir de vous lire !

**À propos** - Leadership féminin Prescott-Russell (LFPR) est le seul organisme dédié au leadership féminin en Ontario français. LFPR appuie le développement du leadership d'une diversité de voix féminines afin d'augmenter leur pouvoir d'influence sur l'évolution de la collectivité, vers une société égalitaire. Le mandat de l'organisme s'articule autour de trois piliers d'intervention: Politique au féminin, Gouvernance au féminin et Leadership jeunesse au féminin.



LFPR est fier de recevoir l'appui financier de Femmes et Égalité des genres Canada.





Femmes et Égalité  
des genres Canada

Women and Gender  
Equality Canada



## Devenez membre vous aussi de LFPR!

Votre adhésion vous permettra de soutenir la réalisation de nos projets afin:

-  Renforcer le leadership des jeunes femmes de chez nous
-  Augmenter la représentation des femmes en politique municipale dans Prescott-Russell

- 🙋 Accroître la participation des femmes au sein des conseils d'administration de la région

**Merci de nous aider à changer le monde, une voix féminine à la fois!**

EN SAVOIR PLUS



August 9, 2022

Honourable Michael Kerzner  
Solicitor General of Ontario  
830 Sheppard Ave. W.,  
Toronto ON M3H 2T1  
[Michael.Kerzner@pc.ola.org](mailto:Michael.Kerzner@pc.ola.org)

Dear Solicitor General Kerzner:

**Re: Mandatory Firefighter Certification**

The Ontario Government has been making great improvements to the legislation which governs the manner in which municipalities conduct their business. One such piece of legislation is the *Fire Protection and Prevention Act, 1997* and particularly, the requirements for firefighter certification.

While the Town of South Bruce Peninsula supports, in principle, the updates to requirements for volunteer and full-time fire service professionals, we must provide our comments in order for the Province to understand the great burden that the regulations will place on municipalities. Council discussed this issue at their regular Council meeting held on August 2, 2022 and adopted resolution R-296-2022 directing that you are contacted for assistance.

Smaller municipalities such as ours, are not fortunate enough to have full-time firefighters. Our emergency personnel are all volunteers with the exception of our Fire Chief who is a full-time employee and our Deputy Fire Chief who is a part-time employee. It is difficult for our volunteers to dedicate the time to obtaining full certification in the manner legislated, as the fire service is not their primary employment. We have found that the average retention period for volunteers is three to five years meaning that once fully trained, most of our volunteers would leave the service or may even leave the service before they are fully trained and certified.

As you can imagine, this places a huge financial burden on our taxpayers as the certification is an additional cost which is funded wholly from the tax base. No grant funding or other financial assistance has been offered from the Province.

We are under the understanding that the Association of Municipalities of Ontario, many municipal governments and the Fire Chiefs across Ontario have raised concerns regarding the legislated requirements for certification. We are respectfully requesting that meaningful consultation and collaboration with the commenting parties takes place

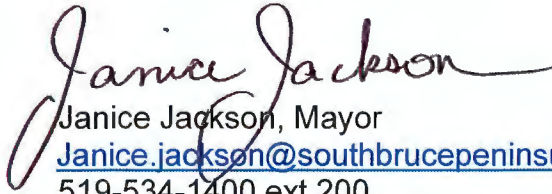


TOWN OF  
**SOUTH BRUCE PENINSULA**

quickly so that municipalities can better manage their finances and workforce where emergency service provision is concerned.

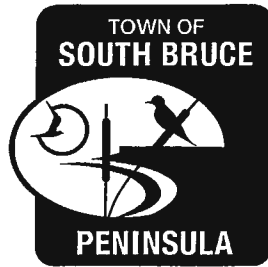
We look forward to hearing from you and to discussing our position on this important matter with you further.

Yours very truly,

  
Janice Jackson, Mayor  
[Janice.jackson@southbrucepeninsula.com](mailto:Janice.jackson@southbrucepeninsula.com)  
519-534-1400 ext 200

Enclosure (1)

cc: Premier Doug Ford, MPP Rick Byers, AMO, OSUM, All Ontario Municipalities,  
Ministry of the Solicitor General (Ministry Office)



## Excerpt from Council Meeting Minutes – August 2, 2022

### 41. Notice of Motion – Mayor Jackson - Mandatory Firefighter Certification

Manager of Emergency Services/Fire Chief Wilson explained that the regulation was passed and only slightly amended. The financial burden is quite large to municipalities. The average retention of a fire fighter is 3-5 years. In order to become fully trained, it would take 3 years.

#### **R-296-2022**

It was **Moved** by J. Jackson, **Seconded** by J. Kirkland and **Carried**

**Whereas** municipal governments provide essential services to the residents and businesses in their communities;

**And whereas** the introduction of new Provincial policies and programs has an impact on municipalities;

**And whereas** municipal governments are generally supportive of efforts to modernize and enhance the volunteer and full-time fire services that serve Ontario communities;

**And whereas** the Association of Municipalities of Ontario (AMO) believes in principle that the fire certification is a step in the right direction, however it has not endorsed the draft regulations regarding firefighter certification presented by the Province;

**And whereas** municipalities and AMO are concerned that the thirty-day consultation period was insufficient to fully understand the effects such regulations will have on municipal governments and their fire services;

**And whereas** Fire Chiefs have advised that the Ontario firefighter certification process will create additional training and new cost pressures on fire services;

**And whereas** the Ontario government has not provided any indication that they will offer some form of financial support to deliver this service;

**And whereas** AMO, on behalf of municipal governments, in a letter to Solicitor General Jones dated February 25, 2022, made numerous comments and requests to address the shortcomings in the draft regulations;



August 9, 2022

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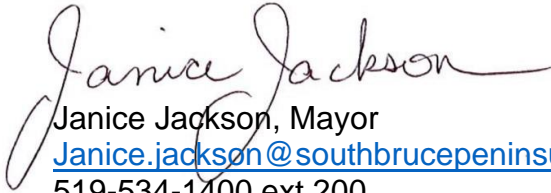


TOWN OF  
**SOUTH BRUCE PENINSULA**

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Yours very truly,



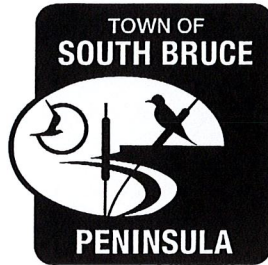
Janice Jackson, Mayor

[Janice.jackson@southbrucepeninsula.com](mailto:Janice.jackson@southbrucepeninsula.com)

519-534-1400 ext 200

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**Now therefore** be it hereby resolved that the Town of South Bruce Peninsula does hereby support AMO's recommendations;

**And that** the Town of South Bruce Peninsula does hereby call on the Solicitor General of Ontario to work with AMO, municipal governments and Fire Chiefs across Ontario to address the concerns raised so that municipalities can continue to offer high quality services to their communities;

**And further that** a copy of this resolution is sent to AMO, OSUM, Premier Doug Ford, MPP Rick Byers and all Ontario Municipalities.



August 19, 2022

The Honourable Steve Clark  
Minister of Municipal Affairs and Housing  
777 Bay Street  
17<sup>th</sup> Floor  
Toronto ON  
M7A 2J3

Dear Minister Clark:

**Re: Strong Mayors, Building Homes Act**

Please be advised that the Council of the Town of Wasaga Beach, during their August 18, 2022 Council meeting adopted the following resolution:

“That Council receive the letter dated August 10, 2022 from the Ministry of Municipal Affairs and Housing pertaining to Strong Mayors, Building Homes Act, for information;

And further that a letter be sent to the Minister of Municipal Affairs and Housing outlining these proposed powers are not appropriate and to outline other ways for the province to institute housing and other matters, and that the motion be circulated to all Ontario municipalities.”

The Town of Wasaga Beach Council does not support the Strong Mayors, Building Housing Act as the proposed changes will not demonstratively speed up the construction of housing and will erode the democratic process at the local level where members of Council have to work together to achieve priorities. What is needed to speed up construction of housing is greater authority for local municipalities to approve development without final clearances from outside agencies after they have been given reasonable time to provide such clearances.

Your favourable consideration of this matter is appreciated.

Should you have any questions, please contact me at [mayor@wasagabeach.com](mailto:mayor@wasagabeach.com) or (705) 429-3844 Ext. 2222.

Yours sincerely,

Nina Bifulchi  
Mayor

c. Members of Council  
All Ontario Municipalities

**Ministry of  
Municipal Affairs  
and Housing**

Office of the Minister

777 Bay Street, 17<sup>th</sup> Floor  
Toronto ON M7A 2J3  
Tel.: 416 585-7000

**Ministère des  
Affaires municipales  
et du Logement**

Bureau du ministre

777, rue Bay, 17<sup>e</sup> étage  
Toronto ON M7A 2J3  
Tél. : 416 585-7000



234-2022-3540

August 10, 2022

Dear Head of Council:

As Ontarians face the rising cost of living and a shortage of homes, our government was re-elected with a strong mandate to help more Ontarians find a home that meets their needs.

Our government also made an election promise to build 1.5 million new homes for the people of Ontario over the next 10 years to address the housing supply crisis.

I am pleased to inform you that our government introduced the proposed Strong Mayors, Building Homes Act on August 10, 2022, that, if passed, would make changes to the *Municipal Act, 2001*, *City of Toronto Act, 2006*, and the *Municipal Conflict of Interest Act*. These amendments would empower mayors in the City of Toronto and City of Ottawa to deliver on shared provincial-municipal priorities and get more homes built faster.

If passed, the proposed changes impacting the City of Toronto and City of Ottawa are intended to take effect on November 15, 2022, which is the start of the new municipal council term. Other growing municipalities could follow at a later date.

If you have any comments or feedback regarding these proposed changes, you may submit them to the Ministry of Municipal Affairs and Housing at: [StrongMayors@ontario.ca](mailto:StrongMayors@ontario.ca).

Sincerely,

A handwritten signature in blue ink that reads "Steve Clark".

Steve Clark  
Minister



# TOURNOI DE GOLF

ANNUEL DES AMIS DE LA CNS

2022

Club de golf Casselview

À  
9 H

VENDREDI  
9 SEPTEMBRE, 2022

BILLET  
\$120

Buffet petit-déjeuner | Équipes de quatre  
Voiturette partagée | Jeux et prix du 75e anniversaire



ENREGISTREMENT : [nation.on.ca/golf](http://nation.on.ca/golf)